

An aerial, isometric-style illustration of a residential neighborhood. The houses are white with grey roofs and are arranged in a grid-like pattern. Some houses have porches and stairs leading to them. There are several trees with yellow and orange foliage scattered throughout the neighborhood. The overall style is clean and modern, with a focus on the layout of the buildings and the placement of trees.

Montclair

Corridors Code



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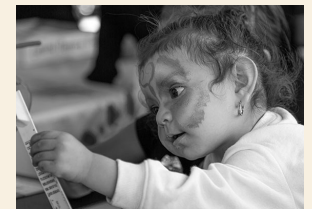
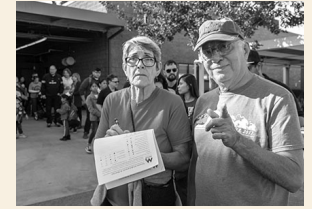
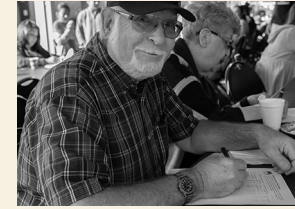
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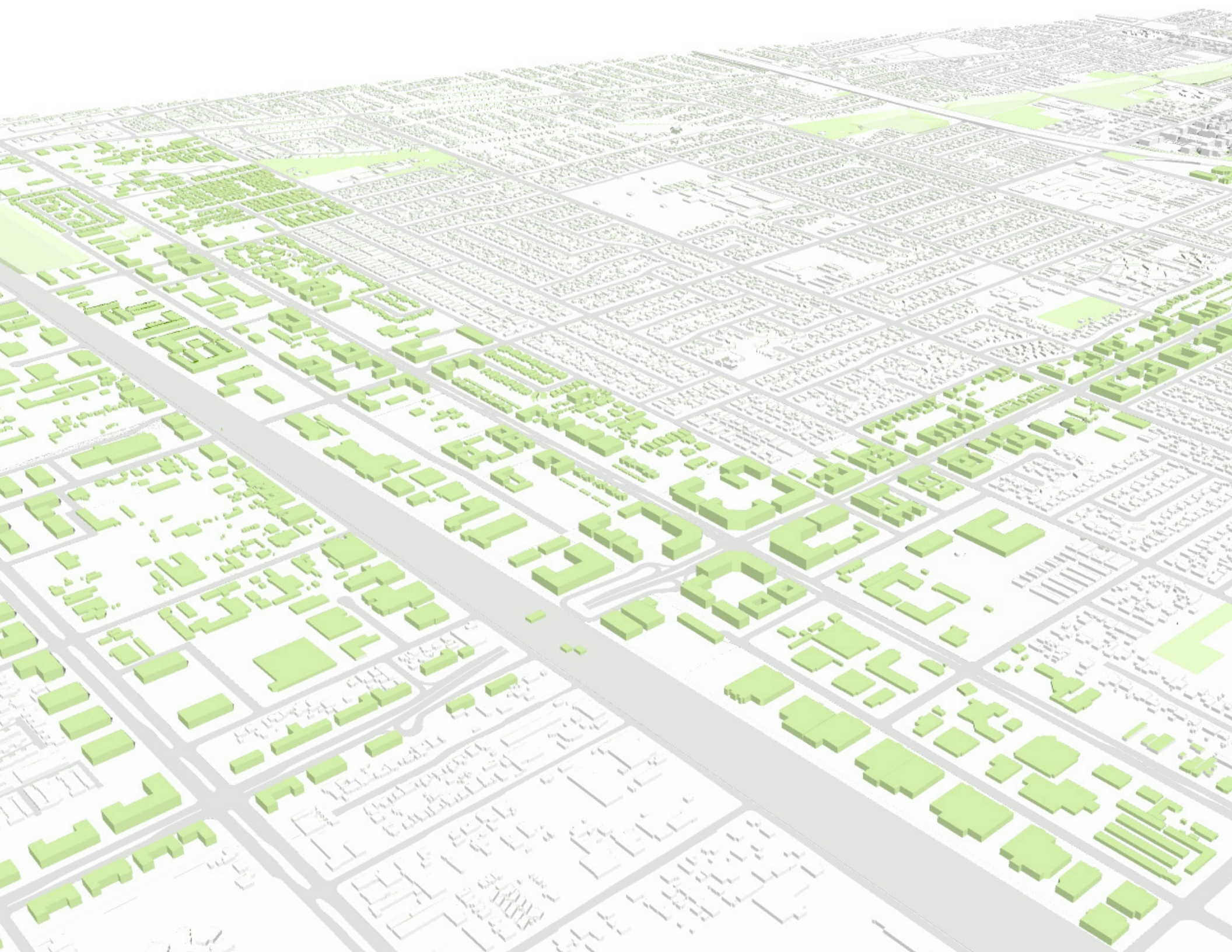




**“Whatever you vividly imagine,
ardently desire, sincerely believe,
and enthusiastically act upon... must
inevitably come to pass!”**

Paul J. Meyer





1. Introduction

1.1 Vision

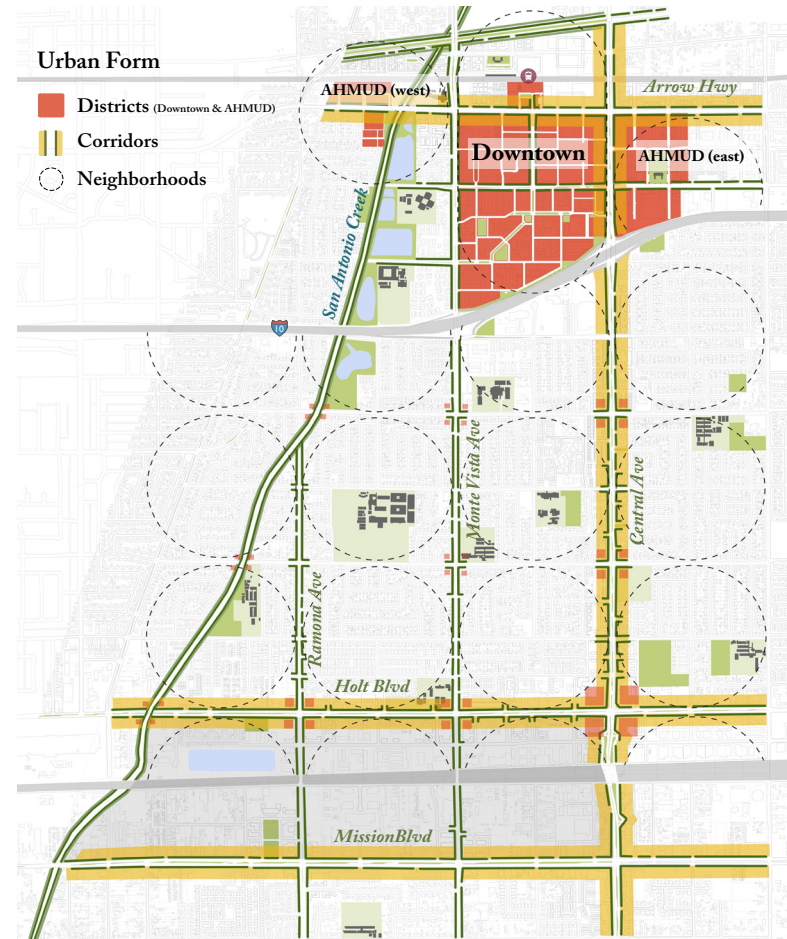


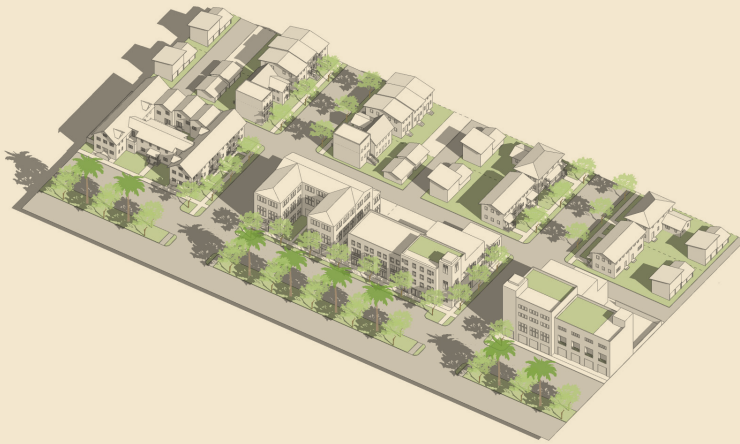
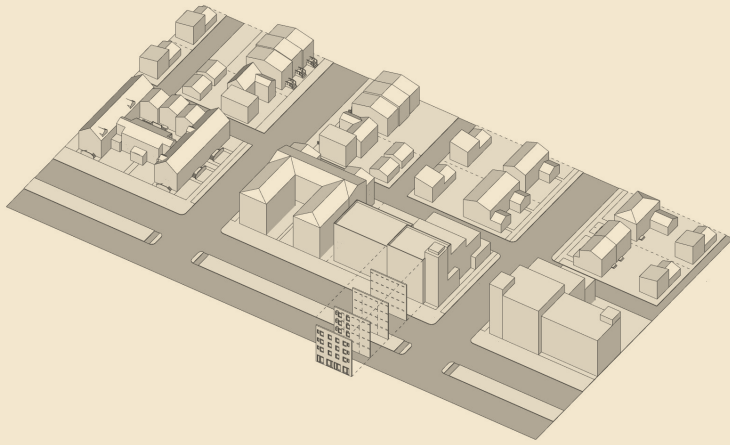
Figure 1.1: Urban Form Map. Development pressures are the greatest in the Districts and along the Corridors. Development in the Downtown and AHMUD Districts is regulated by separate Specific Plans. Central Avenue, Holt Boulevard, and Mission Boulevard are the three corridors addressed in this code.

Urban form is the physical pattern and configuration of settlements. Montclair provides a range of living, working, and recreational options to suit diverse needs. The urban form and character of the different human habitats is conceived as a geography of diverse place types such as neighborhoods, districts, and corridors. The Urban Form Map (figure 1.1) shows a physical framework of place types that informs and guides the nature, form, and character of the built physical environment.

The City is largely built out with stable residential and commercial areas. Some of the vacant and underutilized infill sites along the Corridors offers the greatest potential for attracting context sensitive new growth. Community preferences and directions shape the corresponding policies and implementation. These statements guide the coding of the built environment — the blocks, buildings, and open spaces consistent with the desired vision for the Corridors.

Central Avenue is the signature north-south street with a mix of regional and community serving commercial uses and residential uses. Holt Boulevard is a regional corridor with a mix of commercial and residential uses. The north side of Mission Boulevard is commercial and light industrial uses while the southern side is mostly residential.

The existing pattern of development and land uses along the three corridors are designed around the automobile. The General Plan recommends the corridors be retrofitted to accommodate pedestrians, bicycle, and transit. The three corridors will be redesigned to provide narrow travel lanes, bicycle facilities, on-street parking, continuous tree cover, ample sidewalks, appropriate street furniture and lighting, and supportive building frontages. To facilitate the General Plan vision this code provides integrated standards for both the public and private realm.



Context-based Code: The standards are carefully calibrated for varying context offering a rich public realm and a variety of living and working environments.

The Corridors Code is purposeful place-based regulations with an increased focus on the design of the public realm: the public space defined by the exterior of buildings and the surrounding streets and open space.

Corridors typically comprise of more intense uses than the adjacent neighborhoods.

The Corridor Codes seeks to attract appropriate infill (re)development while protecting and preserving existing stable areas from incompatible development. This Corridor Code reinforces the historical form patterns with the use of streets, frontages, buildings, and open spaces that are appropriate for Corridor context.

Overly restrictive use and density regulations are common barriers to small-scale development. The focus of this code is on the few but critically important urban standards that shape the public realm. These include design of streets and open spaces, setback, building height, building frontage at street level, parking, and access.

The properties along the Corridors are build-out. The vision for the Corridor calls for preservation of existing stable development while allowing incremental and contextual infill development.

The regulations in this code focus on creating a unifying public realm and is intended to be less regulatory on the private side. The Corridor area is distinctively different than neighboring residential and commercial areas. The area will develop incrementally and more organically.

This code intentionally encourages innovative infill development that creates a rhythmic pattern of existing and new buildings unified by a distinctive, vibrant, and walkable public realm.

The Development Code consists of the following sections:

1.0 Introduction: What is vision and purpose of the Corridors Code?

2.0 Purpose and Applicability: The purpose, use, and applicability of the code.

3.0 Zones and Regulating Plan: A zone map that assign standards based on desired character and intensity.

4.0 Public Realm: Standards for subdivision, blocks, streets, and open spaces. Features a Public Realm Plan showing a range of open spaces; and standards for street types, street tree master plan, street furniture, and outdoor seating areas.

5.0 Development Standards: Setbacks, height, parking standards, and access aimed at generating the individual buildings on a block that collectively with other buildings will shape the form of the public realm.

6.0 Frontage Standards: Standards for private frontages that provide a transition and interface between the street and the building.

7.0 Land Uses: Allowed and restricted land uses.

8.0 Signs: Design standards for signs.

9.0 Other Development Standards: Standards for on-site landscaping, lighting, drive-thru businesses, and solid waste.

10.0 Administration: Responsibility and authority to review and make final decision.

11.0 Glossary: General and land use terms defined.

2. Purpose, Design Principles, and Applicability

2.1 Purpose

2.1A Intent

The Corridors Code implements the Montclair General Plan's Vision, Goals, and Policies. This Development Code is intended to facilitate the continuing evolution of the Plan Area into a place where:

1. A mixture of land uses including shops, workplaces, and residences are within walking distance of one another and produce an urban form that is inviting, comfortable, safe, and ecologically resilient;
2. Streets and open spaces promote a vibrant, safe, healthy, and prosperous place; and
3. New infill and remodeled buildings work together with existing buildings to define the pedestrian-oriented space of the public streets within the Corridor Area, and are harmonious with each other and the desired character of the Corridors.

2.1.B Relationship to the Montclair General Plan

The Corridors Code is consistent with the Montclair General Plan currently in effect, as required by California Government Code 65000, et seq. The Corridors Code implements the General Plan's community supported goal to direct new growth to the corridors in a contextual manner.

2.1.C Relationship to the Municipal Code

Title 11.14.050 of the Montclair Municipal Code (MMC) shall be referred to as the Montclair Corridors Code (MCC). The Montclair Corridor Code provides all requirements for development and land use activity for the areas identified in the Corridors Code Boundary Map (figure 2.1). The development criteria in the MCC shall take precedence over the MMC.

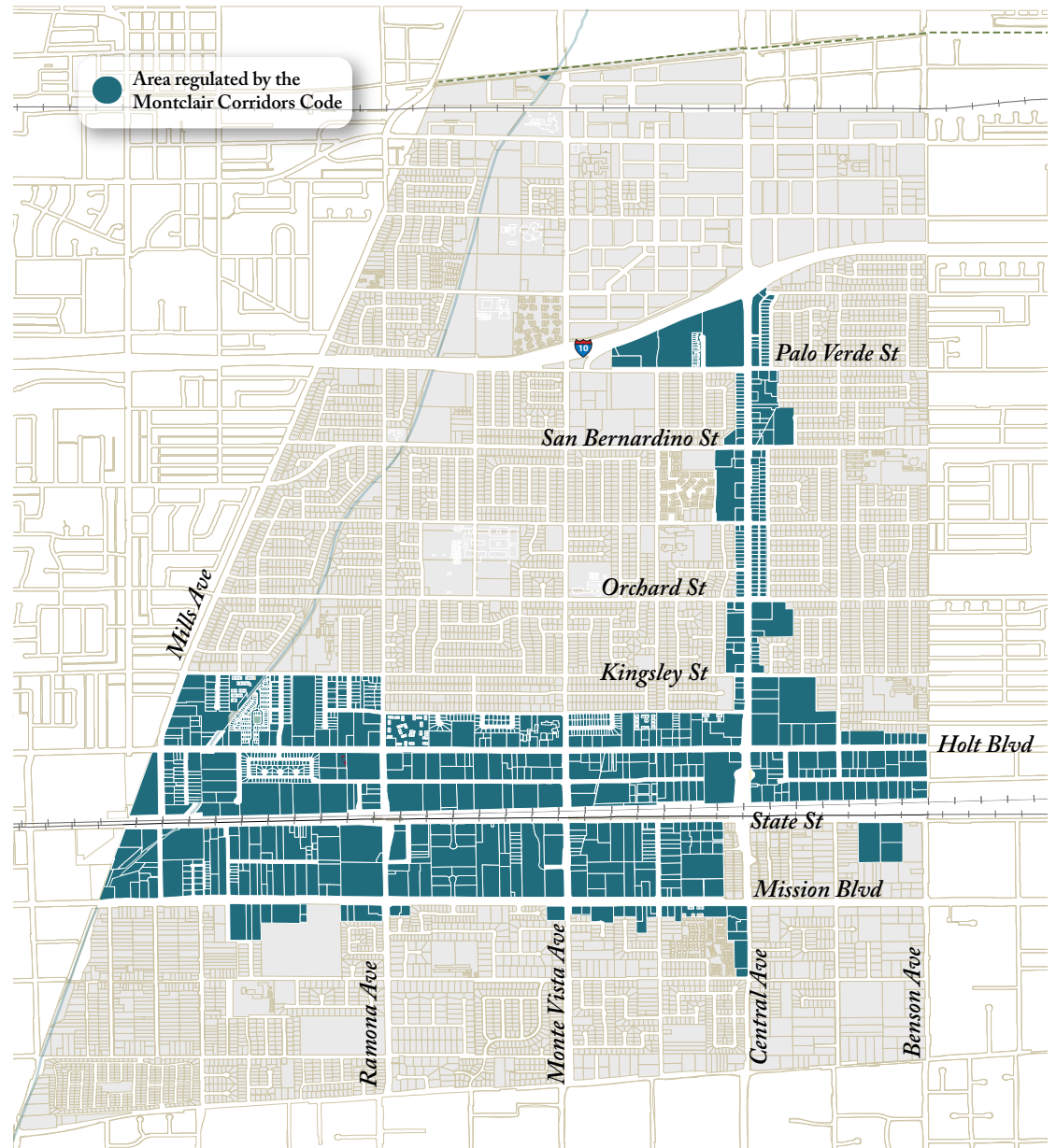


Figure 2.1: Corridors Code Boundary Map

2.2 Design Principles

The design principles are a reflection of the City's vision for the Corridors as expressed in the Montclair General Plan. They provide guidance for new infill development, encouraging contextual scale, massing, and proportion, while creating an engaging street presence.



2.2A Diverse and Integrated Mix

Corridors are edges to neighborhoods. Complete and diverse neighborhoods accommodate people of every age, race, family dynamic, income, and ability. This requires buildings that support flexible patterns of live-work-play, as opposed to separated and siloed zones. Designs need to respond to the nuances of culture, climate, and place, reinforcing a sense of relevance and identity.

1. Encourage a compatible mix of uses at the neighborhood scale.
2. Identify opportunities for shared uses.



2.2B Curated Street Level Experience

The ground floor provides an opportunity to create visible, eye-level landmarks, making corridors more navigable, and reinforcing a sense of place and belonging. A curated ground floor helps to create an attractive environment where people want to live and where businesses want to be.

1. Privacy, visibility, shelter, shade, or exposure should be appropriately designed for different uses.
2. A new residential building's formal rooms (living room, dining room, etc.) should help establish its human scale to the street by being placed to face the street.
3. Buildings should be accessed through prominent public entrances that are visible and directly accessible from the street.
4. The street level appearance of objects and surfaces and the selection of materials should consider human scale details, craftsmanship, texture, color, and durability. It includes public and private structures and space, street furniture, paving, lighting and signage. Taken together, these elements enhance human comfort, safety and enjoyment of the public or private domain.
5. Mechanical, electrical, and plumbing systems should be properly integrated within the form of new buildings in a manner that reinforces the building's overall character and quality.
6. Public utility connection points should be located in a manner that does not interfere with the form of the buildings or their landscape.





2.2C Human-centric Design

Corridors need to be scaled to human proportions, senses, and unique experiences. New development should be designed to create attractive, comfortable and safe walking environments.

1. Locate buildings to define street edges and corner.
2. Buildings should be designed with exterior walls that have windows and doors that are arranged into a definite pattern.
3. Blank building walls should be avoided.



2.2D Rich Public Realm (streets and open space)

The public realm includes the natural and built environment used by the general public on a day-to-day basis such as streets, plazas, parks, and public infrastructure. Some aspects of privately owned space such as the bulk and scale of buildings, courtyards and entries that are traversed by the public or gardens that are visible from the public realm, can also contribute to the overall sense of place.

1. Buildings should define and frame adjacent public streets, and/or public or common spaces, while promoting the collective form of corridors by matching or complementing adjacent building setbacks, heights, and massing.
2. The design of commercial and residential front yard landscape should contribute to the creation of a seamless public realm.
3. New private open spaces should be designed to be inviting, usable, and to properly utilize the space between buildings.



2.2E Context Sensitive Design

The size, shape, and location of buildings as well as the uses contained within them, create "patterns" that define the character of the Corridors.

1. Infill development along the Corridors should be compatible with the pattern of its surrounding context. New infill buildings over two stories in height should respect adjacent buildings by responding to their massing, scale, and need for light, natural ventilation, and views. Typically, this can be accomplished by matching or exceeding existing building heights by only one story. Additional stories should be modulated by setbacks.
2. Modulating side and rear yard volumes to provide as much distance as possible between the facades of a proposed building and existing buildings in order to preserve the privacy of the outdoor spaces of both.
3. Orienting the side yards of proposed buildings to face the side yards of adjacent buildings.
4. Including elements such as porches, galleries, arcades, etc. to relate the scale of facades to those of existing buildings.
5. Reducing building bulk by introducing dwelling space in attic spaces.
6. Introducing landscape and/or trees as a screen between existing and new buildings.

2.3 Use and Applicability

2.3A Use of Corridors Code

The Corridors Code shall be administered by the Montclair City Council, hereafter referred to as the “Council;” the Planning Commission, hereafter referred to as the “Commission;” the Director of Community Development, hereafter referred to as the “Director;” and the Montclair Planning Division, hereafter referred to as the “Planning Division.”

1. **Responsibility for Administration:** The Planning Division shall be the primary body responsible for administering the Corridors Code subject to the provisions of Article 11.

2.3B Applicability to Municipal Code

Property, including structures, land uses and physical improvements such as signs, landscaping, and lighting within the boundaries of the Corridors Code (Figure 2.1) shall comply with all applicable requirements of the Corridors Code as follows:

1. **Zoning District(s) Requirements:** All property subject to the Corridors Code shall comply with the relevant requirements of the applicable zoning district(s).
2. **Conflicting Requirements:** Where a requirement exists for the same topic, in both the Corridors Code and other sections of the Montclair Municipal Code, the requirement of the Corridors Code shall prevail unless otherwise specified.

3. **Permit Approval Requirements:** Each structure and land use shall be constructed, reconstructed, enlarged, altered, or replaced in compliance with the following requirements:
 - a. **Allowable use:** The land use must be allowed in the zoning district where the site is located (see Table 7.1, page 45).
 - b. **Permit and approval requirements:** Any and all permits or other approvals required by the Corridors Code shall be obtained before the issuance of any required grading, building, or other construction permit, and before the proposed structure is constructed and land use established or otherwise put in operation.
 - c. **Development standards and conditions of approval:** Each land use and structure shall comply with the applicable development standards of the Corridors Code for the zoning district in which the site is located.
4. **Improvements, Modifications, and/or Expansions of Sites or Structures**
 - a. **Improvements to Conforming Structures or Sites:** Applicants that involve an improvement to a conforming site, an existing conforming structure(s), or a modification/expansion of an existing conforming structure(s), sign(s) are subject to the applicable requirements of the Corridors Code.
 - b. **Improvements to Non-Conforming Structures or Sites:** Applicants that involve an improvement to a non-conforming site, an existing non-conforming structure(s), or a modification/expansion of an existing non-conforming structure(s), or sign(s) shall comply with the applicable requirements of Section 2.2C.
 - c. **Civic Buildings:** Applications that involve a civic building as defined by the Corridors Code shall comply with Section 2.2B.7.
5. **Modification or Subdivision of Existing Parcel(s):** Applications involving the modification of an existing parcel or the subdivision of an existing parcel shall comply with the applicable requirements of the applicable zoning district(s) and Section 4.0 Public Realm (Subdivision, Streets, and Block Standards).
6. **Approved Entitlements:** Entitlements approved prior to the adoption of the Corridors Code that have yet to be constructed are not subject to the Corridors Code. The entitlement(s) may not be extended beyond the four-year approval period and upon expiration, the owner must demonstrate substantial completion in constructing the approved structure(s) or the property shall then comply with the Corridors Code. Substantial completion means at least 90 percent completion of the approved structure(s) as determined by the City of Montclair Building Official.

- 7 **Civic Buildings:** Applications involving the modification or construction of a building for civic purposes as defined in Section 11 “Glossary,” shall comply with the following:
 - a. Section 5.0 Development Standards and Section 6.0 Frontage Standards are not required of civic buildings.
 - b. All other sections of the Corridors Code apply.

2.3C Transitional Lots, Uses, and Structures

- 1 **Intent:** The regulations of this section are intended to:
 - a. Recognize the interests of property owners in continuing to use their property for uses that were lawfully established.
 - b. Promote maintenance, reuse, and rehabilitation of existing buildings.
 - c. Place reasonable limits on nonconformities that have the potential to adversely affect adjacent properties.
- 2 **Transitional Lots:** Lots which are non-conforming as to lot area or lot width may be adjusted or subdivided provided the resulting re-configuration brings the non-conforming lot into, or closer to conformity with the requirements of current applicable regulations.
- 3 **Transitional Use:** Transitional uses are those that were legally established but that are not currently listed as permitted or conditionally permitted in the zoning district in which they are located or those that currently require a conditional use permit but at the time of their initiation did not require a conditional use permit. The following provisions shall apply to legal transitional uses:
 - a. No transitional use shall be expanded or moved in whole or part to any portion of the lot or parcel upon which it is located or other structure other than that occupied by such use at the time it was established.
 - b. No transitional use shall be changed to a different transitional use.
 - c. If a transitional use is discontinued or abandoned for a continuous period of 180 days or more, such use shall be deemed to have lost its transitional status and shall not be reestablished.

4 Transitional Structures:

- a. **Additions:** A transitional building or other structure may be added to, provided that an addition of 50 percent or more of the floor area existing as of the adoption of this Corridors Code shall trigger compliance with all Corridors Code provisions for the portion of the building or structure comprising the addition.
- b. **Repairs and Maintenance:** General non-structural repairs and normal maintenance necessary to keep a nonconformity in sound condition are permitted. Structural repairs to a legal transitional structure may be authorized by the Building Official if it is determined that said repairs are necessary to protect the health and safety of the occupants, public at-large, or adjacent property and the cost does not exceed 50 percent of the replacement cost of the legal transitional structure. Structural improvements required to strengthen unreinforced masonry structures in compliance with seismic safety standards shall be permitted without replacement cost limitations.
- c. **Replacement of Transitional Structures:** Any transitional structure that is involuntarily damaged by fire or other catastrophic event may be restored or reconstructed to its original condition provided that the cost of such restoration/reconstruction does not exceed 50 percent of the replacement value of the structure and that the restoration shall commence within one year from the date the damage occurred.

3. Zones and Regulating Plan

3.1 Zoning Districts and Overlays

3.1A Purpose and Establishment of Zoning Districts and Overlays

This section establishes the zoning districts and overlays to implement the Montclair General Plan for property and rights-of-way within the Corridors Code boundaries. Property and rights-of-way subject to the Corridors Code shall be divided into the following zones and overlays, which shall be applied to all property as shown on Figure 3.1.

3.1B Zoning Districts and Overlays

The Corridors Code is consistent with the Montclair General Plan currently in effect, as required by California Government Code 65000, et seq. The Corridors Code implements the General Plan's community supported goal to direct new growth to the corridors in a contextual manner.

3.2 Regulating Plan

3.2A Purpose and Establishment of Regulating Plan

This section establishes the regulating plan, Figure 3.1, as the map that identifies and implements the various intentions and principles of the Montclair General Plan. Table 3.1 defines the zoning districts, overlays and standards for site development, design and land use through the following:

1 Zoning Districts: Each zoning district is allocated standards in the following areas:

- Building Placement
- Allowed Development Standards
- Allowed Frontage Types
- Building Height and Size
- Allowed Encroachments into Required Yards
- Parking Placement and Site Access
- Required Parking
- Allowed Land Uses

- 2 **Shopfront Frontage Overlay:** This overlay on parcels located at the intersection of Holt Boulevard and Central Avenue requires buildings to have shopfront frontage and a minimum floor-to-ceiling height. This requirement is to accommodate ground floor live-work, commercial, retail or other such non-residential activity on streets where the vision expects active, pedestrian-oriented streetscapes.
- 3 **Regulating Plan Diagram:** Each zoning district and overlay established by the Corridors Code is identified on Figure 3.1 to show the boundaries of each zoning districts, overlay, and the parcels within each boundary. Figure 3.1 is established as the zoning atlas for all property within the Corridors Code boundaries.

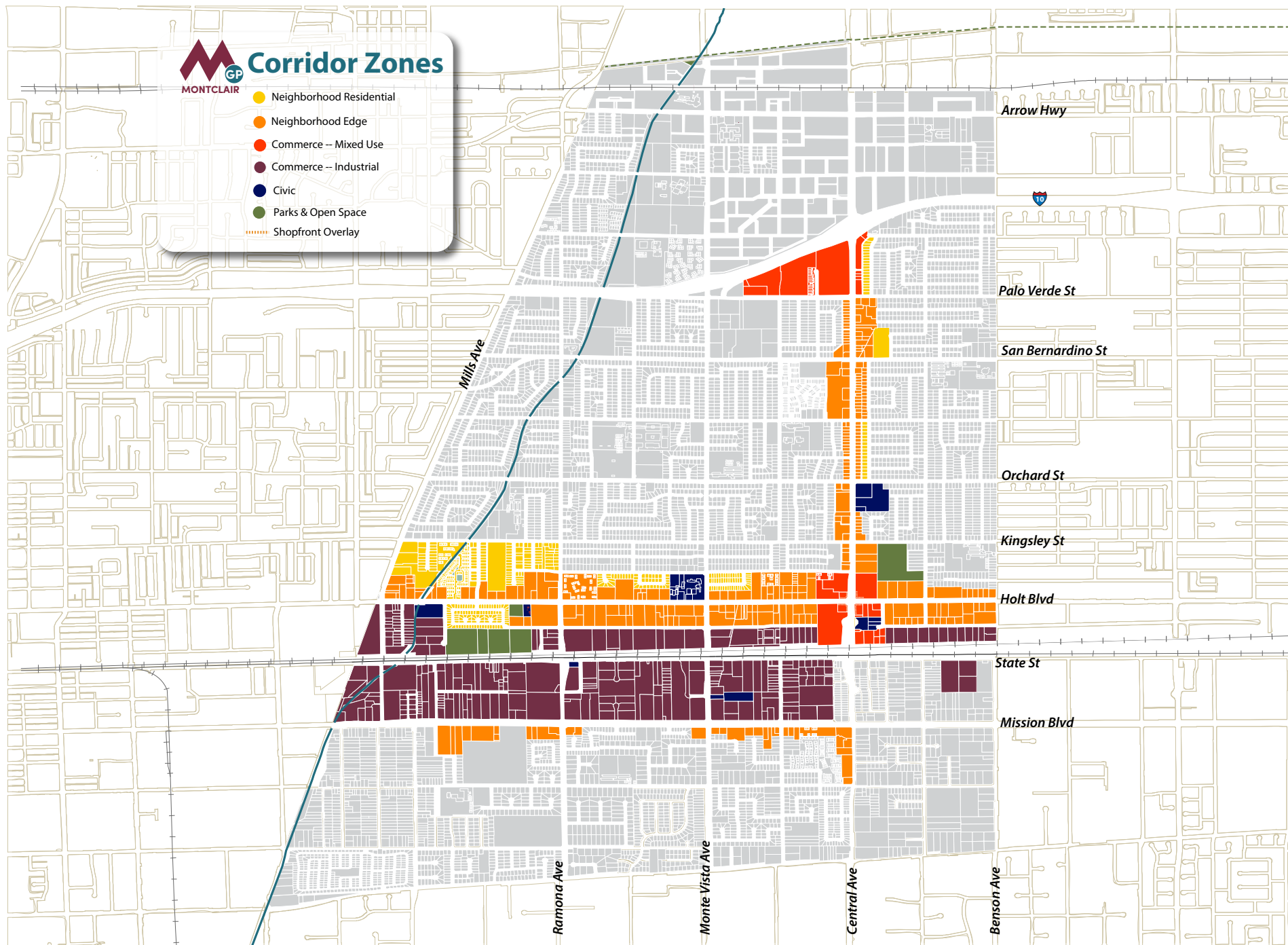
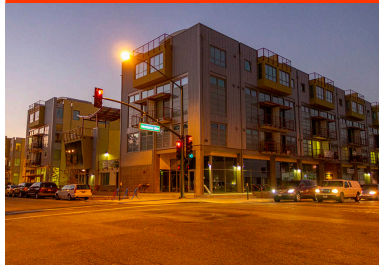


Figure 3.1: Regulating Plan

**Zoning District
Intent**

Commerce-Mixed Use



Commerce - Industrial



Neighborhood Edge



Neighborhood Residential



Desired Form

New buildings are block scale, up to four floors (50 feet in height), buildings close to property line, and active ground floor commercial activities fronting key streets.

New buildings are block scale, up to three floors (40 feet in height). Buildings are located close to property line.

New buildings are up to 2 floors (25 feet in height) with provision for three stories element (up to 40 feet). Buildings are located close to property line.

Infill development should respect adjacent buildings by responding to their massing, scale, need for light, natural ventilation, privacy, and views. Typical height of the building is two floors (25 feet in height).

Streetscape and Public Realm Improvements

Active streetscapes on Central Avenue and Holt Boulevard provide continuity with adjacent areas. Commercial frontages such as shopfronts, arcades, or galleries; wide sidewalks; and street trees encourage interesting, safe, and comfortable walking environment.

Buildings that face residential areas will be articulated with human scale detailing. Outdoor activity will be screened from public view. Larger sites when subdivided will enhance the public realm with landscaped public spaces and walkable streets.

Active streetscape providing continuity with adjacent areas. Residential frontages and street trees encourage interesting, safe, and comfortable walking environment.

Parking and service location and access is placed to reduce their visual impact on the street. Where an alley is present, parking should always be accessed from the alley. This will allow the active and visually engaging features of the residence to dominate the streetscape.

Parking

Parking consists of on-site spaces located either behind buildings or in above- or underground parking structure. On-street public parking spaces are provided. Parking ratios are lower due to available transit and shared parking options.

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General Use

Ground floor retail, cultural, entertainment, and office activity. Upper floors and the floor area behind shopfronts is flexible for a wide variety of uses such as research and development uses, small scale manufacturing, professional and medical office, and residential uses.

Buildings are occupied with light industrial uses including research and development uses, small scale manufacturing, professional and medical office, and traditional business park.

Primarily multi-family residential with limited street level neighborhood serving uses such as retail, restaurant, and office uses at major street intersections, where feasible.

Single-family residences, duplexes, triplexes, quads, and accessory dwelling units.

Table 3.1 Summary Characteristics of Zoning District

4. Public Realm

4.1 Blocks

4.1A Purpose

The design of blocks influence the type of street network, building types, and the quality of urban space. Smaller blocks produce more intersections, therefore more human scale buildings, greater public realm and superior street network system. All blocks shall be designed per the applicable requirements identified in Table 4.1 to ensure that new and modified blocks result in walkable, interconnected streetscapes aligned by appropriately scaled buildings.

4.1B Applicability

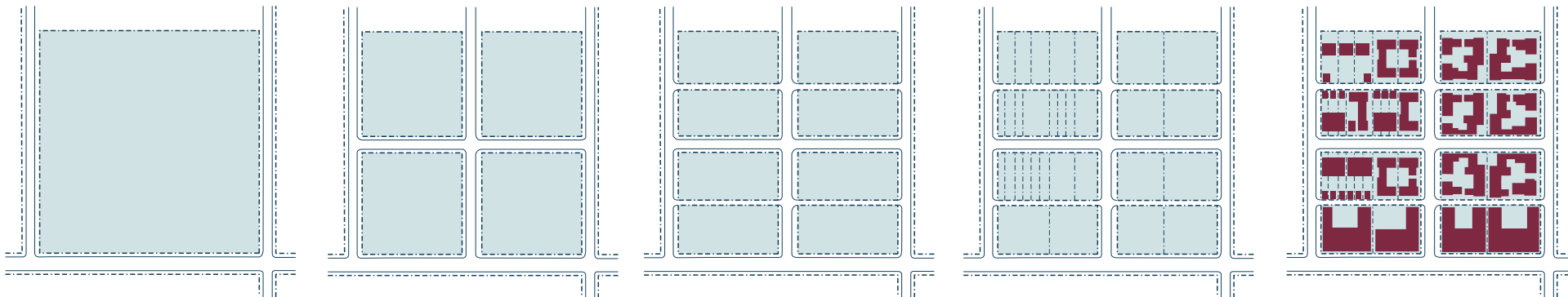
The standards shall apply to all new or modified blocks in the Corridors Code area.

4.1C Streetscape Standards

- a New or modified blocks shall front a street (public or private).
- b New or modified blocks shall be subdivided to generate individual lots for buildings or open space as required by the applicable zoning district(s) and overlay(s) and in compliance with Section 5.0 Development Standards.
- c New or modified blocks may be designed in a variety of shapes. Individual block lengths and the total block perimeter length shall follow the standards established in the Table 4.1 below.

Zone	Block Length	Perimeter Length
Commerce-Mixed Use	400 ft. max.	1,600 ft. max.
Commerce-Industrial	600 ft. max.	1,800 ft. max.
Neighborhood Edge	600 ft. max.	2,000 ft. max.
Neighborhood Residential	600 ft. max.	2,000 ft. max.

Table 4.1: Block standards.



Step 1: Existing Site

Sites that are 4 acres or larger in size or existing blocks with 700 feet of frontage on any side shall be subdivided further to create additional blocks per the requirements of Table 4.1.

Step 2: Introduce Streets

Sites being subdivided into additional blocks shall introduce streets as allowed in the applicable zoning district(s) and comply with the applicable block-size requirements of Table 4.1.

Step 3: Introduce Alleys

Access to new blocks and their individual lots is allowed primarily by alley or, side street, with a certain portion of lots allowed to access the lot via the primary street. The intent of limiting access to the rear or side of lots is to maintain the continuity of the streetscape without interruptions such as driveway access.

Step 4: Introduce Lots

Lots are introduced on each block to correspond with the selected building type(s) allowed by each zoning district.

Step 5: Introduce Projects

Each lot is to receive no more than one main building. The main building is then designed per the requirements of the applicable zoning district along with the allowed frontages and arranged to suit the particular organization of buildings desired for the block.

4.2 Streets

4.2A Intent

The key to transforming the Corridors Code Area into walkable area is the introduction of an interconnected street network with streets that are sized appropriately for intended volume and safe traffic speeds. The principal characteristics and strategies of this kind of network are:

1. Interconnected streets that serve all modes of travel, including walking, biking, taking transit, or driving.
2. A diversity of context based street types, each designed according to the adjacent building intensities and uses and each with its own unique character.
3. Streets that accommodate two-way traffic, facilitating navigation and safe traffic speeds, while eliminating traffic-related fatalities.
4. On-street parking that provides convenient parking in front of businesses and residences, reduces the amount of required off-street parking, provides a barrier between vehicles in the travel lane and pedestrians on sidewalks, and provide a presence on the street that helps calm vehicular speeds.
5. Appropriate lane widths, tight curb radii, and narrow street crossings that calm traffic and provide a more comfortable and safe environment for pedestrians, cyclists, and automobiles.
6. Ample sidewalks, crosswalks, street trees, and generous streetscapes that provide shady, comfortable, and inviting places for pedestrians to walk, while defining the Corridor's unique and memorable sense of place.
7. Streets that result in a reduced quantity and improved quality of stormwater runoff, and a diminished heat island effect.
8. Energy-efficient, pedestrian-oriented lighting that generates an inviting and safe environment for pedestrians, cyclists, and commerce.

4.2B Applicability

1. The standards in this section apply to all new streets and to the substantial improvement of an entire block length of an existing street, subject to the review and approval of Public Works Director, Fire Chief, and Community Development Director.
2. Figure 4.1 shows the street and block network within the entire Corridor's Code Area. As larger parcels on the Corridors redevelop, additional streets and blocks may be added. Additionally, Figure 4.2 shows specific landscape characteristics for each street, contributing to the richness of the Corridor's sense of place.
3. To facilitate orderly, integrated, and cohesive public infrastructure design, in 2016, the City Council adopted a Public Infrastructure Improvement Policy. This policy document will provide direction on the type, timing, and extent of public improvements required by abutting properties being developed within the Corridor's Code Area. Public Improvements may include new infrastructure or repair of existing infrastructure (e.g., sidewalks, curbs, gutter, pavement, etc.).

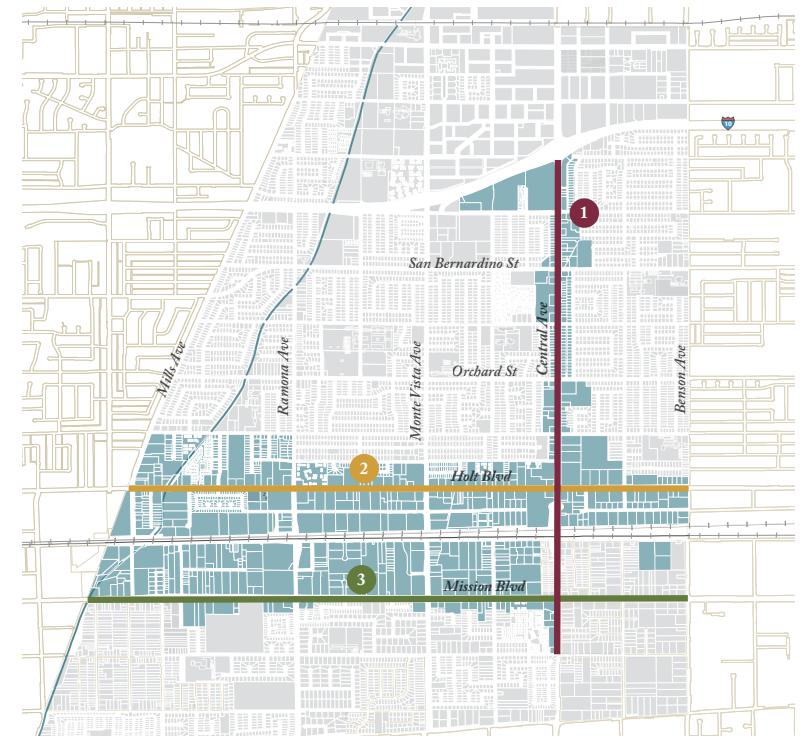
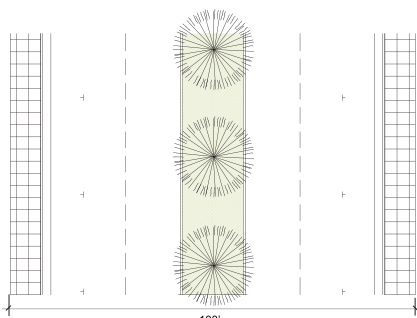
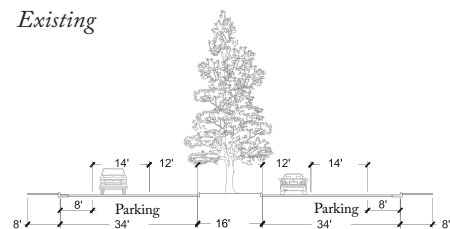


Figure 4.1: Street Network Plan

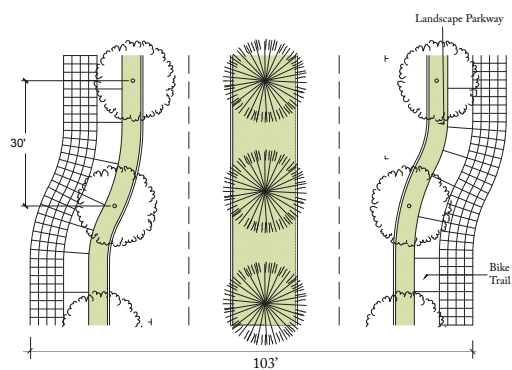
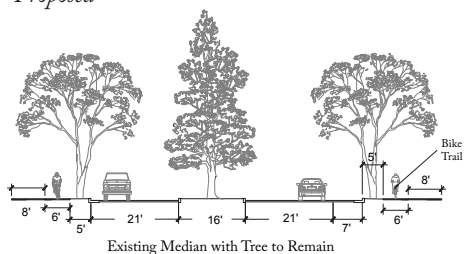
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Central Avenue

Existing



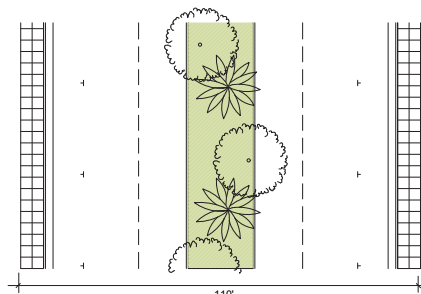
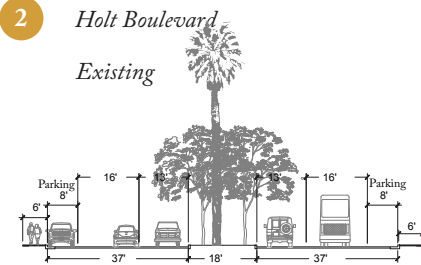
Proposed



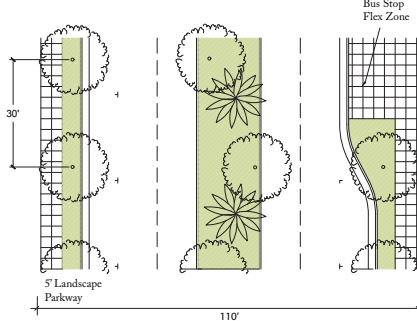
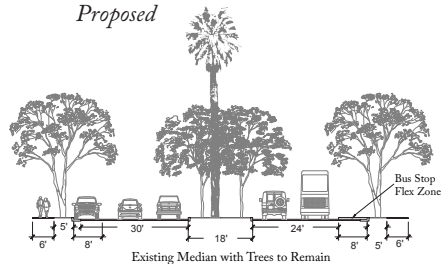
2

Holt Boulevard

Existing



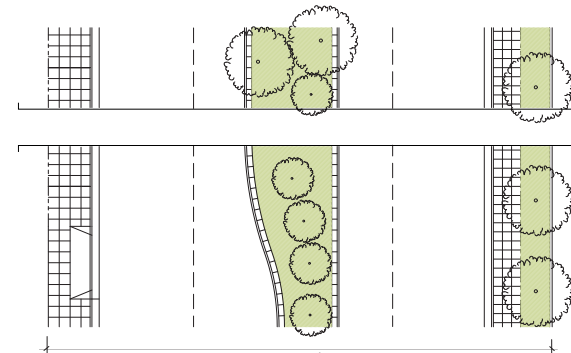
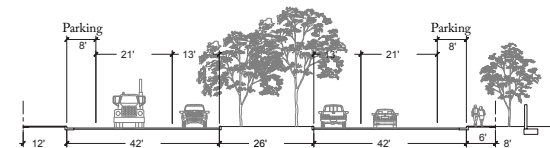
Proposed



3

Mission Boulevard

Existing



Proposed

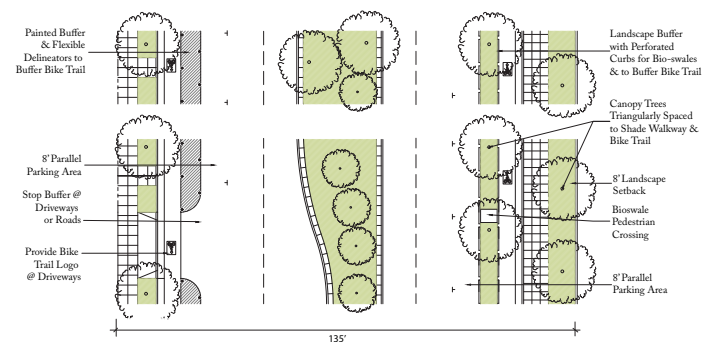
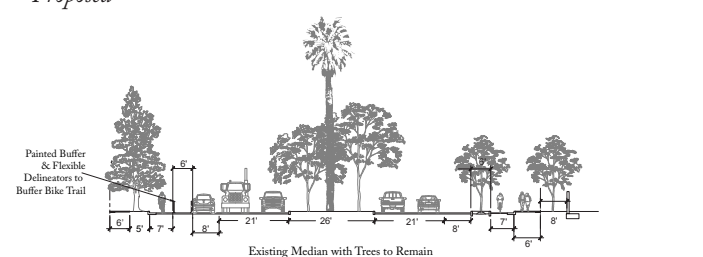


Figure 4.2: Proposed Typical Street Design



4.3 Street Trees

4.3A Intent

The intent of street trees is to provide a comfortable, rich pedestrian experience with shade, planted edges in the public right of way, and increase environmental performance with low impact development strategies that absorb and clean urban runoff.

The Street Tree Master Plan (see Figure 4.3) locates specific tree species amongst the public realm's street network, open spaces, and greenways. Tree species are chosen for each type of thoroughfare and open spaces to support its unique aesthetic character, spatial quality, and environmental value. Tree selection considerations included the tree's shape, color, seasonal change, scent, size at maturity, drought tolerance, and resilience.

The numerous qualitative benefits from selecting a diverse street tree palette include shade for pedestrians walking along the sidewalk, a visual rhythm to reduce driving speeds along vehicular streets, and overall balance of the built environment. A street tree's environmental benefits include cooling the immediate area, local air quality improvement through carbon sequestration, and stormwater management which contribute toward pedestrian friendly urban character of Montclair.

The street tree species shown in Figure 4.3 (Street Tree Master Plan) are conceptual and may be adjusted subject to Public Works Director and/or Community Development Director approval.

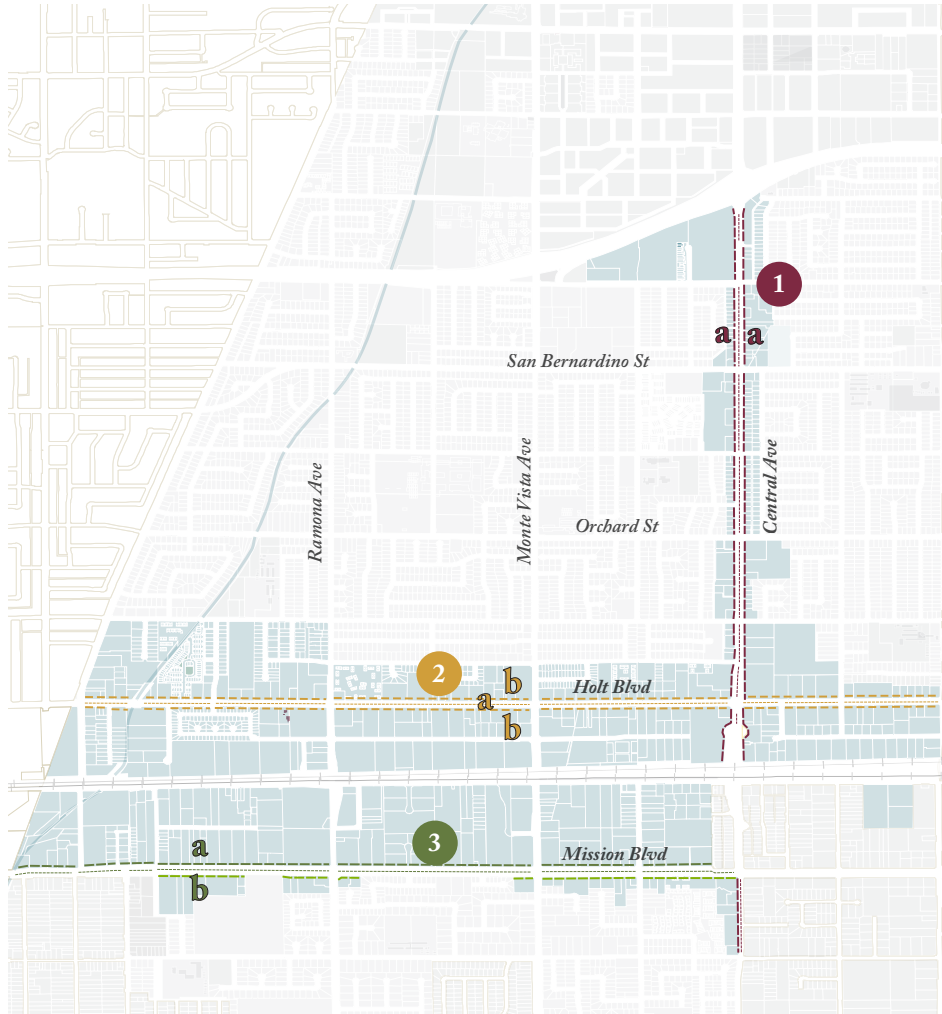


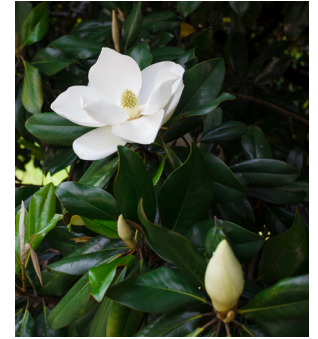
Figure 4.3: Street Trees Master Plan

1 Central Avenue

a. Parkway Tree: Magnolia grandiflora Southern Magnolia

Tree form: Conical/Rounded

Spacing at 30 ft. on center.



a. Alternate Parkway Tree: Brachychiton acerifolius, Australian Flame Tree

Tree form: Conical

Spacing at 30 ft. on center



a. Alternate Parkway Tree: Ginkgo biloba, 'Autumn-Gold', Autumn Gold Maidenhair Tree

Tree form: Conical

Spacing at 30 ft. on center



The existing Pine Trees in the Central Avenue median will be preserved.

2 Holt Boulevard

a. Median Tree: *Quercus agrifolia* Coast Live Oak

Tree form: Oval

Spacing at 40 ft. on center.



a. Alternate Median Tree: *Quercus suber* Cork Oak

Tree form: Oval

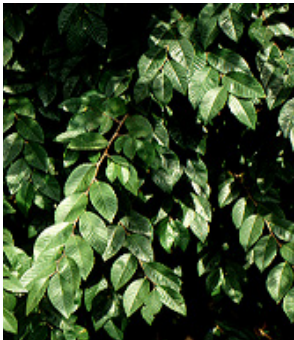
Spacing at 40 ft. on center



b. Parkway Tree: *Ulmus parvifolia* 'Brea' Brea Chinese Elm

Tree form: Vase

Spacing at 30 ft. on center



b. Alternate Parkway Tree: *Zelkova serrata* Sawleaf Zelkova

Tree form: Vase

Spacing at 30 ft. on center



3 Mission Boulevard

a. North Side Tree: *Lophospermum confertus*, Brisbane box (*Tristania conferta*)

Tree form: Vertical

Spacing at 30 ft. on center.



a. North Side Tree: *Cupaniopsis anacardioides*, Carrot-wood Tree

Evergreen tree where power lines are present to be mixed in with Brisbane box trees.

Tree form: Rounded

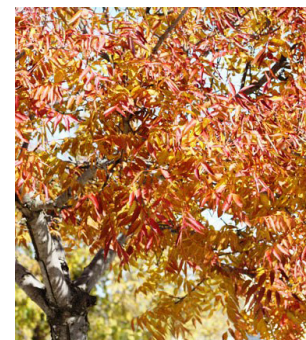
Spacing at 30 ft. on center.



b. South Side Tree: *Pistachia chinensis*, Chinese Pistache

Tree form: Rounded

Spacing at 30 ft. on center.



b. Alternate South Side Tree: *Koelreuteria paniculata*, Golden Rain Tree

Tree form: Rounded

Spacing at 30 ft. on center





The conceptual illustration shows a range of possible parks and open spaces within the public and private realm accessible from the Corridors.

4.4 Parks and Open Space

4.4A Intent

This Section establishes a range of open spaces specified based on location and characteristics such as size, landscaping, access, and frontage conditions needed to implement the intended form and character for the corridors. The Montclair General Plan vision seeks to establish a seamless weave of public and private open spaces at the regional, neighborhood, block, lot, and building level. The Development Standards include private open space requirements for different building types.

The intent of this Section is to:

1. Improve quality of life, instill civic pride, and sense of community.
2. Provide places for diverse people to meet and interact thereby increasing social capital of the neighborhood.
3. Increase property values and help attract and retain knowledge workers and businesses.
4. Provide venues for many arts and cultural programs which also promotes tourism.
5. Inspire children to explore, discover, learn and become better stewards of the natural environment, through informal play and shared experiences with peers in open spaces.
6. Promote walking, biking, and other physical activities essential for fitness and well being and to reduce diabetes, and heart and mental illness.
7. Reduce the urban heat island effect. Trees in parks and open spaces sequester carbon and other pollutants from the area.

4.4B Applicability

The standards shall apply to all new or modified blocks in the Corridors Code area. Additional Public Open Spaces can be integrated into this Section as they are approved by the City.





4.4C

Park Types

1 San Antonio Creek Greenway

a Description

The Greenway is a linear open space intended to provide extensive opportunities for recreation. The Greenway corridor would connect many neighborhoods, existing parks, schools, Pacific Electric Trail and the Metrolink Station. It would also connect the wildlife habitat and reduce the heat island effect.

b Standards

- i **Size:** The greenway would be variable width and span the entire City. In the future, the greenway could become part of a regional trail network.
- ii **Design:**
 - a) The landscape along the greenway shall consist of unobstructed lawns, planting beds, naturalistically arranged trees. Hardscape is minimal in the form of access pathway and peripheral connections.
 - b) Pedestrian amenities such as benches, picnic tables, drinking fountains, exercise equipment, bike racks and playground equipment may be located at appropriate intervals along the greenway.

2 Community Garden

a Description

A semi-private grouping of garden plots available for small-scale cultivation by residents of apartments and other dwelling types without private gardens. Community gardens strengthen community bonds, provide food, create recreational and therapeutic opportunities, and promote environmental awareness and education.

b Standards

- i **Size:** Community gardens can vary in shape, size, and function.
- ii **Design:**
 - a) Community Gardens shall be located: in areas that receive adequate sunlight for the intended purpose without the removal or excessive trimming of trees; in prominent areas of a park where they may detract from the aesthetics of the park, and in areas that are agriculturally suitable, including soil conditions, topography and solar access.
 - b) The site shall be designed and maintained so that water and fertilizer will not drain to adjacent property.
 - c) A minimum 3-foot-wide, clearly marked entrance path shall be provided from the public right-of-way to the garden.
 - d) Refuse areas shall be located as close as practicable to the rear and center of the property. Refuse shall be removed from the site at least once a week.





3 Neighborhood Green

a Description

A small open space within a neighborhood available for passive recreation, spatially defined by building frontages and streets.

b Standards

i Size: 0.25 acre to 0.5 acre

ii Design:

- a) Neighborhood Greens are highly visible and accessible and have as boundaries at least two streets. The open spaces shall be in the line of sight of adjacent land uses and activities to ensure visibility. The frontages shall have active edges such as front doors and windows.
- b) All parking shall be located on-street. The location and design of open space shall facilitate walking and biking to the open spaces.
- c) Landscape consists generally of unobstructed lawn, planting beds, and trees arranged naturalistically and providing shade.
- d) Amenities may include pergolas, picnic shelters, flexible gathering and event spaces, benches, chairs, tables (movable recommended) bike racks, playground equipment, and athletic courts and fields.

4 Pocket Park

a Description

Pocket parks are urban open spaces on a small-scale and provide a safe and inviting environment for surrounding community members. They also meet a variety of needs and functions, including: small event space, play areas for children, spaces for relaxing or meeting friends, taking lunch breaks, etc.

b Standards

i Size: Up to 0.25 acre

ii Design:

- a) The parks shall be accessible by both foot and bike.
- b) Pocket parks shall strive to accommodate as many different users as possible, prioritizing the needs of surrounding neighborhoods. Pocket parks may include seating, play or fitness equipment, open lawn space, dog runs, community gardens, ecological/educational displays, and community bulletin boards.
- c) Pocket parks may be designed to serve as stormwater retention and infiltration areas.





5 Private Open Spaces

a Lot Level

Each building type shall prescribe private open space. For example the open space for single dwelling is provided in yards, courtyard buildings includes courts, and flex buildings and towers may provide terraces.

b Within the building

In urban areas where a private yard is not an option, balconies, patios, and roof garden allow residents access to open space, area for small-scale cultivation, recreation, and entertaining.

5. Development Standards

5.1 Purpose and Intent

This section establishes standards to ensure that development within the Corridors Code area promotes a safe, comfortable, and interesting walkable environment along the street by:

- Placing the buildings in the front and locating the parking behind the building;
- Providing access to adequate public and private parks and open space; and
- Providing contextual building scale and mass, and pedestrian access and visibility that establish a human scale to the street.

5.2 Applicability

All proposed buildings and related improvements shall be designed in compliance with the development standards of this Section for the applicable zone, except for public and institutional buildings, which because of their unique disposition and application are not required to comply with these requirements.

5.3 Average Building Height

Building within the Neighborhood Edge zone may exceed the maximum allowed base building height by one story for up to 30% of the building footprint area provided an equal amount of building footprint area is one story shorter than the maximum allowed base building height (see Figure 5.1).

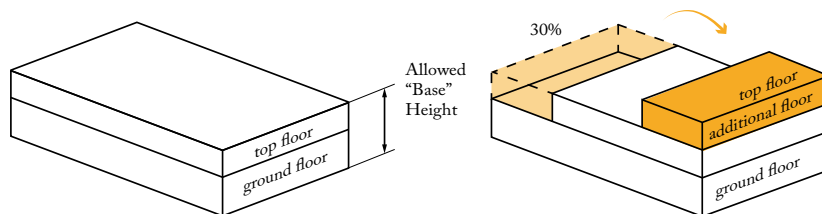
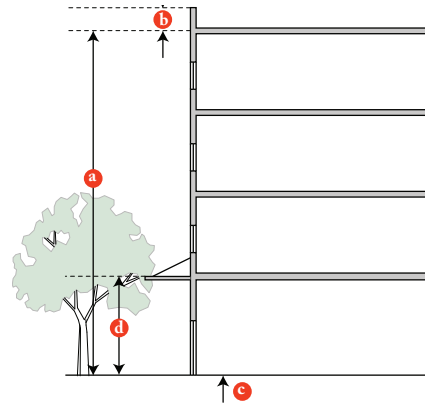
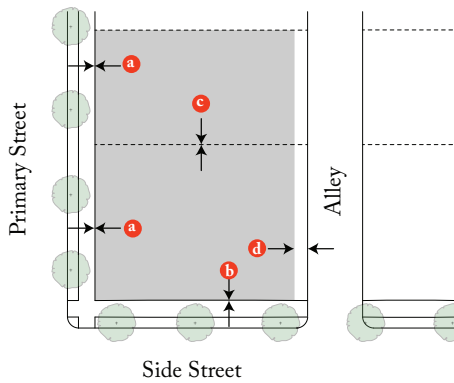


Figure 5.1: Average Building Height

5.3A Commerce-Mixed Use



1 Setbacks

- a** Primary Street Setback
 - i Ground Floor non-residential 0 ft. min./5 ft. max.
 - ii Ground Floor residential 5 ft. min./10 ft. max.
- b** Side Street Setback
 - i Ground Floor non-residential 0 ft. min./5 ft. max.
 - ii Ground Floor residential and upper floors 5 ft. min./10 ft. max.
- c** Side Yard Setback
 - i Non-residential 0 ft.
 - ii Residential 8 ft. min.
- d** Rear Setback
 - i With Alley 5 ft. min.
 - ii Without Alley 15 ft. min.

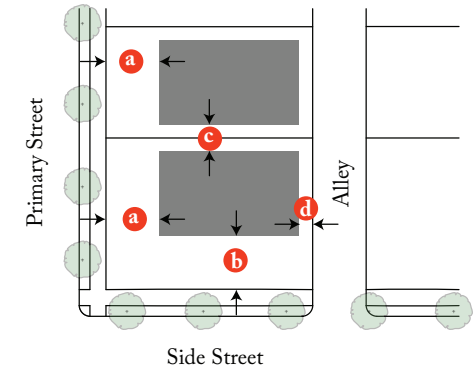
2 Heights

- a** Top of plate height 4 stories/50 ft. max.
- b** Parapet height 4 ft. max.
Pitch roof above top of building plate Allowed
- c** Ground Floor above grade
 - i Non-residential 0 ft.
 - ii Residential 3.5 ft. min.
- d** Ground story floor to floor height
 - i Non-residential 15 ft. min.
 - ii Residential 12 ft. min.

3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

- a** Primary Street Setback
 - i Podium/Surface 20 ft. min.
 - ii Subterranean 0 ft.
- b** Side Street Setback
 - i Podium/Surface 20 ft. min.
 - ii Subterranean 0 ft.
- c** Side Yard Setback
 - i Podium/Surface 5 ft. min.
 - ii Subterranean 0 ft.
- d** Rear Setback
 - i Podium/Surface 5 ft. min.
 - ii Subterranean 0 ft.



4 Signs

Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

5 On-site Open Space

- a One (1) or more of the Open Space Types listed below shall be provided on each lot and must be accommodated behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden	15% of total lot area	20 ft. by 20 ft.
ii Courtyard		
iii Back yard		
iv Roof deck		

- b Residential projects without a back yard shall provide for each residential unit a private open space in the form of a balcony, door yard, or yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.

6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

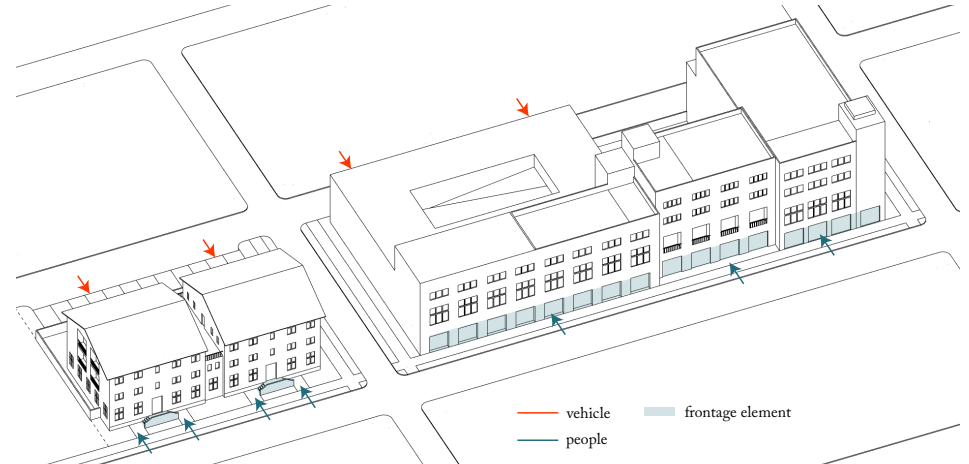
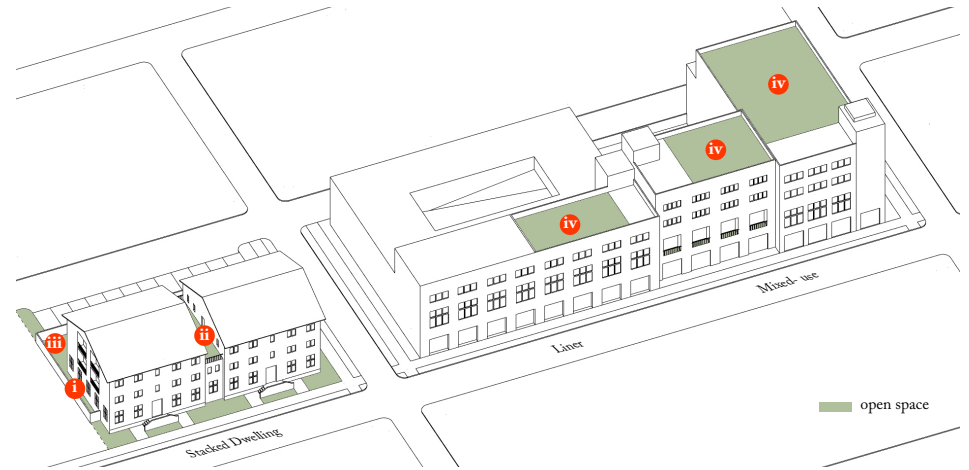
i Arcade, Gallery	To R.O.W. line
ii Shopfront	0 ft.
iii Stoop	5 ft.
iv Door yard	To R.O.W. line

- b Optional Frontage Elements: The following elements may be provided on all Street- and Courtyard-facing facades, and may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below.

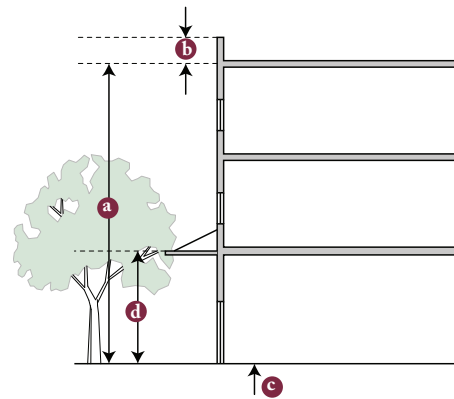
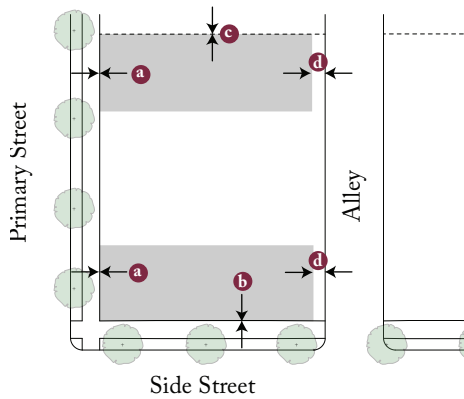
i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	
iii Awning, Canopy	Within 2 ft. of curb

7 Access

- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



5.3B Commerce -Industrial



1 Setbacks

a Primary Street Setback	0	No max.
b Side Street Setback	0	No max.
c Side Yard Setback	0	No max.
d Rear Setback		
i With Alley	5 ft. min.	No max.
ii Without Alley	15 ft. min.	No max.

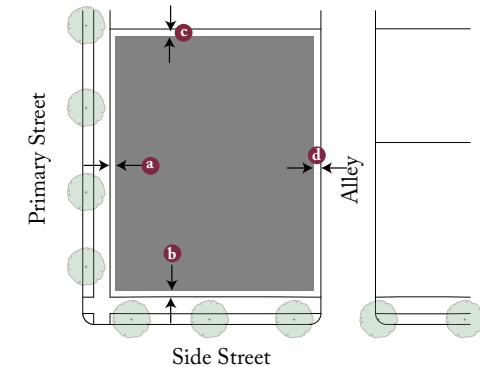
2 Heights

a Top of plate height	3 stories/40 ft. max.
b Parapet height	4 ft. max.
Pitch roof above top of building plate	Allowed
c Ground Floor above grade	0 ft.
d Ground story floor to floor height	15 ft. min.

3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

a Primary Street Setback	
i Podium/Surface	3 ft. min.
ii Subterranean	0 ft.
b Side Street Setback	
i Podium/Surface	3 ft. min.
ii Subterranean	0 ft.
c Side Yard Setback	
i Podium/Surface	3 ft. min.
ii Subterranean	0 ft.
d Rear Setback	
i Podium/Surface	3 ft. min.
ii Subterranean	0 ft.



4 Signs

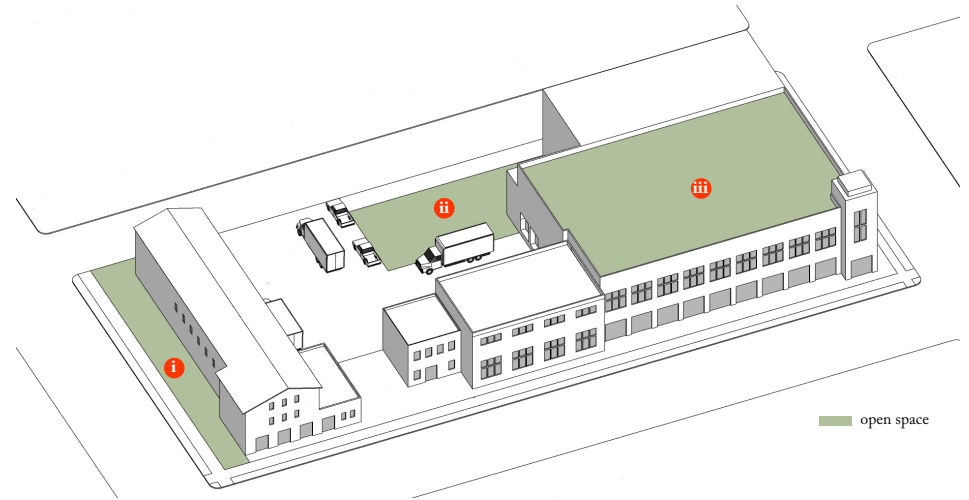
Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

5 On-site Open Space

- a Open Space is not required but can be provided on each lot behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden		
ii Back yard	No min.	No min.
iii Roof deck		



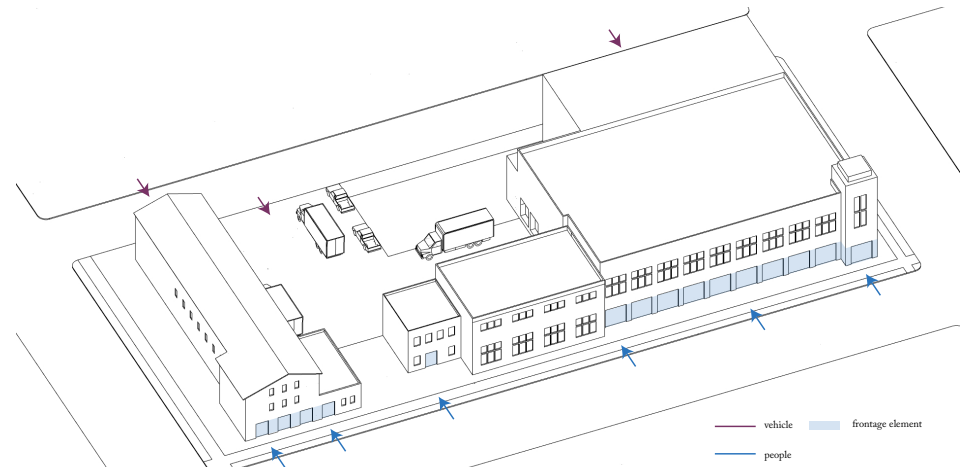
6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

i	Arcade, Gallery	To R.O.W. line
ii	Shopfront	0 ft.
iii	Stoop	5 ft.
iv	Door yard	To R.O.W. line

- b Optional Frontage Elements: The following elements may be provided on all Street-facing facades, and may encroach into in the Primary Street and Side Street setbacks or right-of-way as identified below.

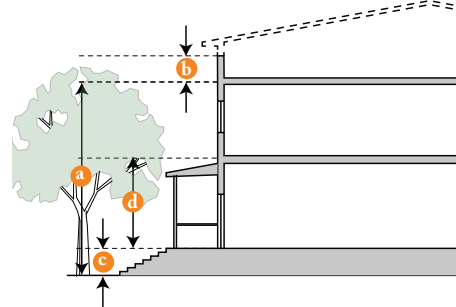
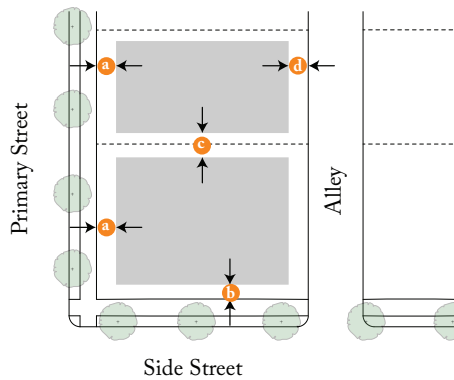
i	Balcony	3 ft. into R.O.W. or setback
ii	Bay Window	
iii	Awning, Canopy	Within 2 ft. of curb



7 Access

- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.

5.3C Neighborhood Edge



1 Setbacks

a	Primary Street Setback	
i	Ground Floor non-residential	10 ft. min./25 ft. max.
ii	Ground Floor residential	10 ft. min./25 ft. max.
b	Side Street Setback	
i	Ground Floor non-residential	5 ft. min.
ii	Ground Floor residential and upper floors	10 ft. min.
c	Side Yard Setback	
i	Non-residential	5 ft. min.
ii	Residential	5 ft. min.
d	Rear Setback	
i	With Alley	10 ft. min.
ii	Without Alley	15 ft. min.

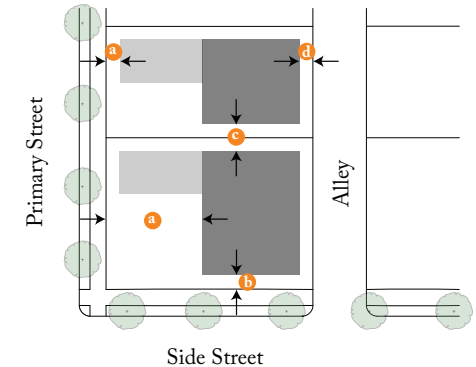
2 Heights

a	Top of plate height	Average 2 stories/25 ft. max.*
b	Parapet height	4 ft. max.
	Pitch roof above top of building plate	Allowed
c	Ground Floor above grade	
i	Non-residential	0 ft.
ii	Residential	3.5 ft. min.
d	Ground story floor to floor height	
i	Non-residential	15 ft. min.
ii	Residential	12 ft. min.
	* Up to 30% of the building footprint area may be three (3) stories/40 ft. to top of plate, provided an equal amount of building footprint area is no taller than one story/15 ft. to top of plate (see figure 5.1).	

3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

a	Primary Street Setback	
i	Surface	5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners
ii	Podium	50% of lot depth
iii	Subterranean	10 ft. min
b	Side Street Setback	
i	Surface	5 ft. min.
ii	Podium	25 ft. min.
iii	Subterranean	5 ft. min
c	Side Yard Setback	
i	Surface	5 ft. min.
ii	Podium	15 ft. min.
iii	Subterranean	5 ft. min
d	Rear Setback	
i	Surface	5 ft. min.
ii	Podium	20 ft. min.
iii	Subterranean	5 ft. min



4 Signs

Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

5 On-site Open Space

- a One (1) or more of the Open Space Types listed below shall be provided on each lot and must be accommodated behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden	15% of total lot area	20 ft. by 20 ft.
ii Courtyard		
iii Back yard		
iv Roof deck		

- b Residential projects without a back yard shall provide for each residential unit a private open space in the form of a balcony, door yard, or yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.

6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

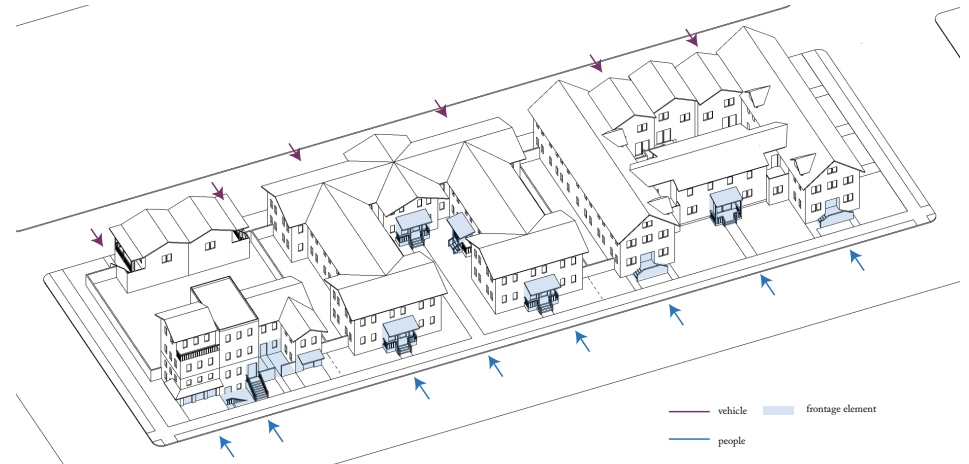
i Arcade, Gallery	To R.O.W. line
ii Shopfront	0 ft.
iii Stoop	5 ft.
iv Door yard	To R.O.W. line

- b Optional Frontage Elements. The following elements may be provided on all Street- and Courtyard-facing facades, and may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below.

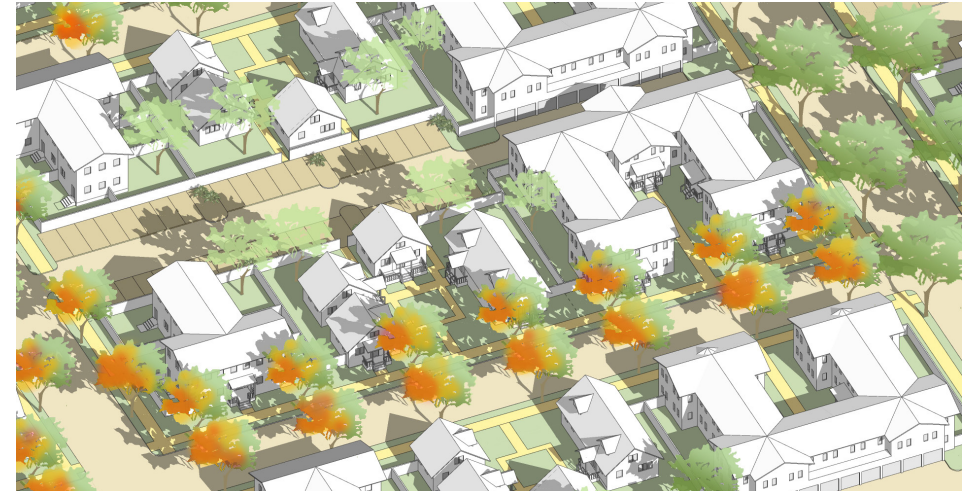
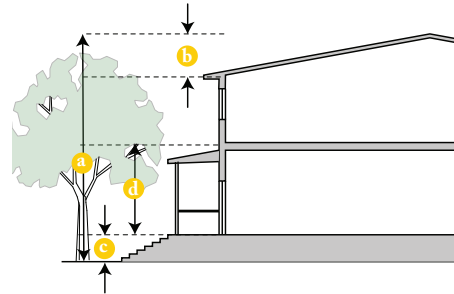
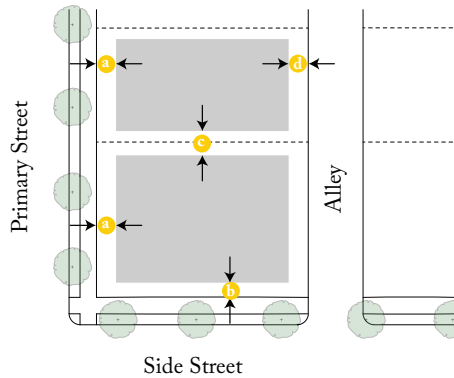
i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	
iii Awning, Canopy	Within 2 ft. of curb

7 Access

- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



5.3D Neighborhood Residential



1 Setbacks

- a Primary Street Setback**
 - i Ground Floor non-residential 10 ft. min./25 ft. max.
 - ii Ground Floor residential 10 ft. min./25 ft. max.
- b Side Street Setback**
 - i Ground Floor non-residential 5 ft. min.
 - ii Ground Floor residential and upper floors 10 ft. min.
- c Side Yard Setback**
 - i Non-residential 5 ft. min.
 - ii Residential 5 ft. min.
- d Rear Setback**
 - i With Alley 10 ft. min.
 - ii Without Alley 15 ft. min.

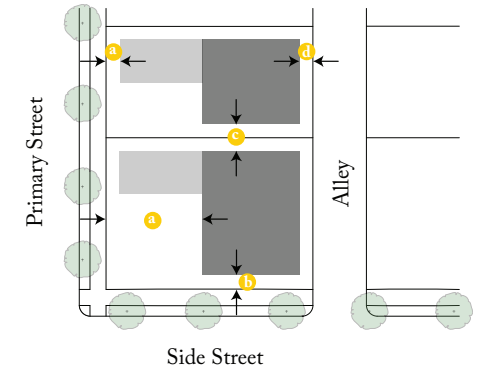
2 Heights

- a Top of plate height** 2 stories/25 ft. max.
- b Parapet height** 4 ft. max.
Pitch roof above top of building plate Allowed
- c Ground Floor above grade** 3.5 ft. min.
- d Ground story floor to floor height** 12 ft. min.

3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

- a Primary Street Setback**
 - i Surface 5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners
 - ii Podium 50% of lot depth
 - iii Subterranean 10 ft. min
- b Side Street Setback**
 - i Surface 5 ft. min.
 - ii Podium 25 ft. min.
 - iii Subterranean 5 ft. min
- c Side Yard Setback**
 - i Surface 5 ft. min.
 - ii Podium 15 ft. min.
 - iii Subterranean 5 ft. min
- d Rear Setback**
 - i Surface 5 ft. min.
 - ii Podium 20 ft. min.
 - iii Subterranean 5 ft. min



4 Signs

Business advertisement signs are not permitted in the Neighborhood Residential Zone.

5 On-site Open Space

- a One (1) or more of the Open Space Types listed below shall be provided on each lot and must be accommodated behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden		
ii Courtyard	15% of total lot area	20 ft. by 20 ft.
iii Back yard		

- b Residential projects without a back yard shall provide for each residential unit a private open space in the form of a balcony, door yard, or yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.

6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

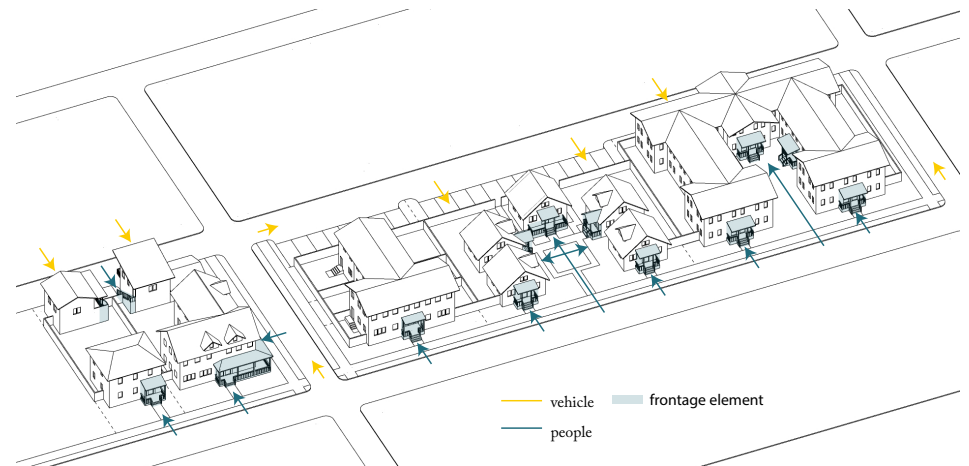
i Stoop	5 ft. max.
ii Door yard	To R.O.W. line
iii Porch	5 ft. max.
iv Front yard	n/a

- b Optional Frontage Elements: The following elements may be provided on all Street- and Courtyard-facing facades, and may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below.

i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	

7 Access

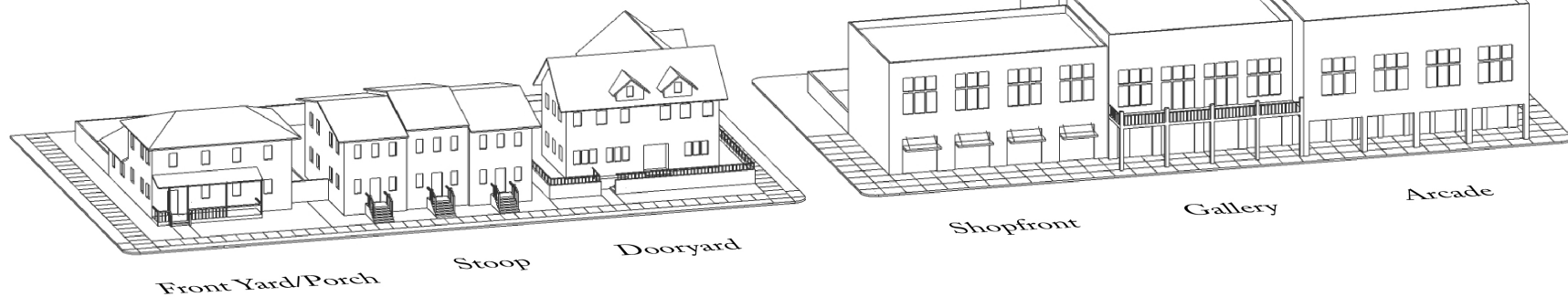
- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk directly to each unit through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



6. Frontage Standards

6.1 Purpose and Intent

This Section establishes standards to ensure proposed development promotes a walkable environment along the street through the provision of street-facing windows, entries, and appropriately designed frontages; and commercial ground floors that support pedestrian activity through maximum ground floor transparency. Frontages consist of the street facade of the building(s), including any projecting elements, and any landscape, hardscape, walls, and fences between the building facade and the back of sidewalk. They provide a transition between the public environment of the street and the semi-private and private environments of the building interior. They also signal the location of the building entrance and provide a semi-public space within which neighbors and visitors can interact.



Required

Optional



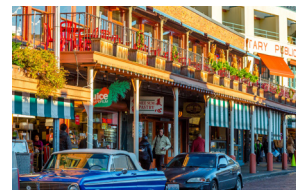
Front Yard



Stoop



Dooryard (non-residential)



Gallery



Balcony



Awning



Porch



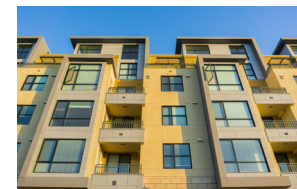
Dooryard (residential)



Shopfront



Arcade



Bay Window



Canopy

6.2 Applicability

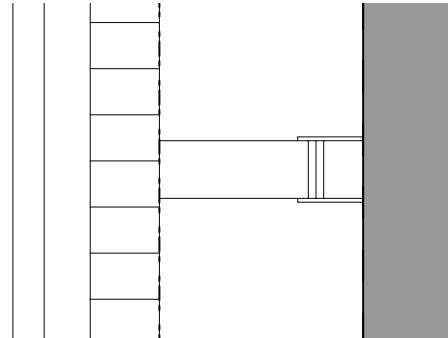
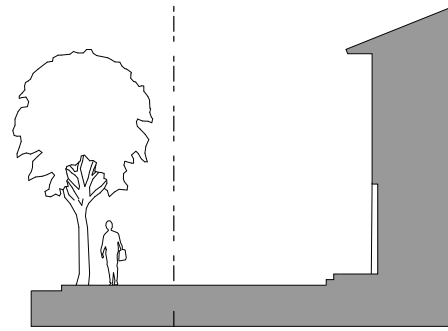
The requirements of this Section apply to all new buildings within the Corridors Code area.

6.3 Frontage Types

This Section identifies the frontage types allowed within the Corridors Code area, and for each type provides a description and design standards to ensure that proposed development is consistent with the General Plan's goals for building form, character, and quality. Frontage types are divided into two categories, Required (Porch, Stoop, Dooryard, Shopfront, Gallery, and Arcade) and Optional (Balcony, Bay Window, Awning, Canopy). The provisions of this Section work in combination with the underlying Zone as identified on the Regulating Plan. Refer to Sections 5.3A, 5.3B, 5.3C, and 5.3D for required and optional frontage types within each zone and allowed encroachments into the setback or right-of-way.

6.3A Front Yard

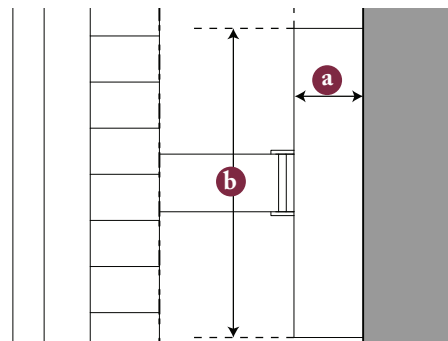
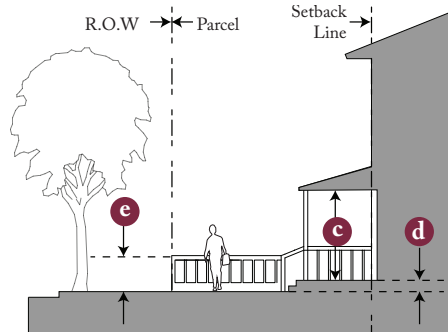
- a) **Description:** The area between the building facade and the property line. Front Yards may be visually continuous with adjacent yards with a common landscape, or enclosed by a low fence, wall, or hedge. On sloping sites, front yards may be raised above the level of the adjacent sidewalk and supported by a low retaining wall at the property line with steps providing access between the sidewalk and the yard. Porches, stoops, balconies, and bay windows may encroach into Front Yards.
- b) **Design Standards**
- Front yards and continuous planters between the curb and sidewalk along the primary and side streets shall be landscaped.
 - Paved areas shall be limited to walks and driveways, where present.
 - Fences defining the front yard shall not exceed four (4) feet as measured from the adjacent sidewalk.

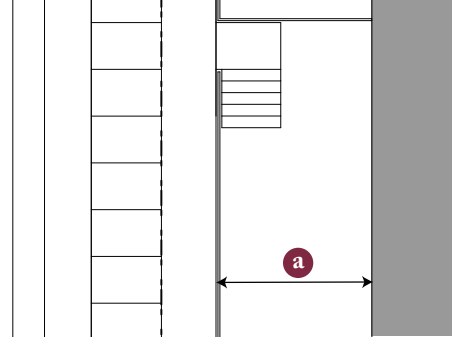


6.3B Porch

- a) **Description:** A roofed, unenclosed room attached to the exterior of a building that provides a physical transition between the sidewalk and the building. Porches may be provided on buildings that are set back from the Primary and/or Side Street property lines and may encroach into the front yard and side street yard.
- b) **Design Standards**
- Porches may be enclosed with insect screens if recessed from the exterior wall plane and if visibility is maintained from the sidewalk.
 - Porches shall be designed according to the following dimensional requirements:

	Dimensions	Min.	Max.
a	Depth (clear)	6 ft.	-
b	Width (clear)	12 ft.	-
c	Height: ceiling (clear)	8 ft.	12 ft.
d	Height: floor above grade	12 in.	3 ft.
e	Height: fence or hedge	-	3 ft.





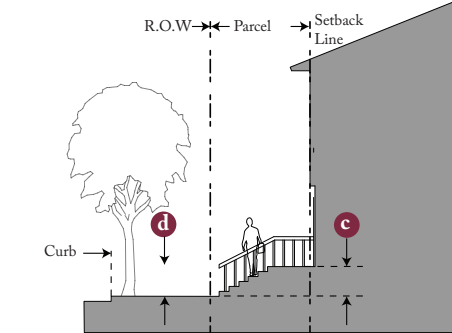
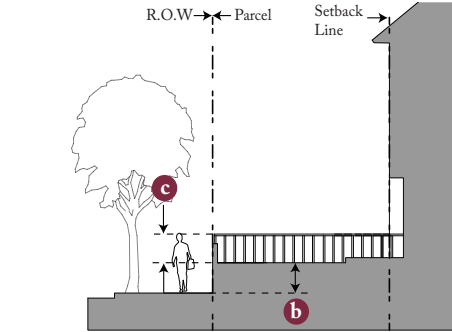
6.3C Dooryard

- a) **Description:** An elevated or at-grade garden or terrace that is located in the front yard setback and that is enclosed by a low wall located at or near the property line. For elevated Dooryards, access from the sidewalk to the Dooryard is via a stair or ramp. The Dooryard can accommodate a variety of activities, ranging from dining patios for commercial uses to patios for residential uses. In addition, the interior building spaces are separated from the adjacent sidewalk by the depth of the Dooryard and in the case of raised Dooryards, by the terrace height.

b) Design Standards

- Walls and/or fences shall be consistent with the architectural style of the building in their design, materials, and finishes.
- Dooryards shall be designed according to the following dimensional requirements:

Dimensions	Min.	Max.
a Depth (clear)	7 ft.	-
b Height above grade	0 ft.	3 ft.
c Fence or railings may extend to height required by building code.	-	-



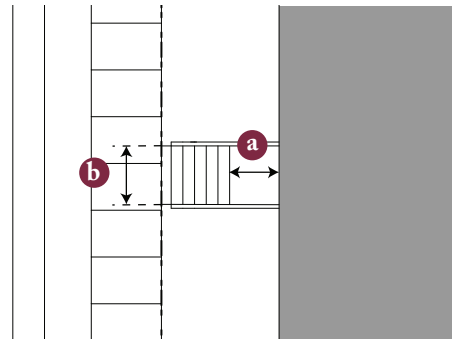
6.3D Stoop

- a) **Description:** A stair and landing leading directly from the sidewalk to a building entrance. The ground floor of the building is typically raised to provide increased privacy for the rooms facing the public street. Accordingly, stoops are ideal frontage types for ground floor housing that is near the street.

b) Design Standards

- The exterior stairs may be perpendicular or parallel to the adjacent sidewalk. The landing may be covered or uncovered. Landscaping shall be placed on the sides of the stoop.
- Stoops shall be designed according to the following dimensional requirements:

Dimensions	Min.	Max.
a Depth: Landing (clear)	4 ft.	10 ft.
b Width (clear)	4 ft.	10 ft.
c Height: floor above grade	12 in.	3 ft.
d Height: Fence or hedge	-	3 ft.



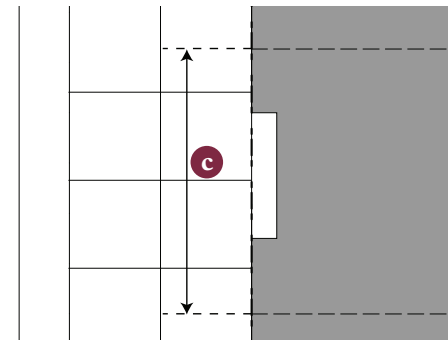
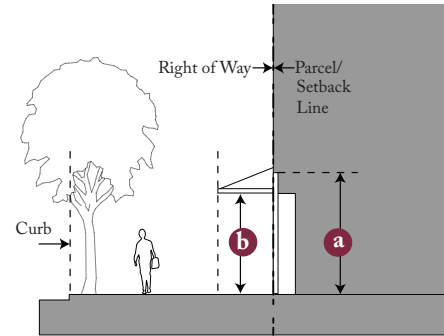
6.3E Shopfront

- a) **Description:** Shopfronts are large openings in a building facade that are enclosed with large transparent windows and doors that provide direct, at-grade access to ground floor commercial/retail uses. The basic required architectural elements of shopfronts include large windows, doors with glass, transom windows, and a solid base (bulkhead). Optional elements include awnings, canopies, signage, lighting, and cornices.

b) Design Standards

- Storefront glass shall be clear without reflective coating or dark tinting. Lightly tinted glazing less than 15%, low emissivity, (solar) is acceptable.
- Shopfront shall be designed according to the following dimensional requirements:

Dimensions	Min.	Max.
a Height (clear)	10 ft.	16 ft.
b Distance to bottom of awning	8 ft.	10 ft.
c Width of storefront bay(s)	10 ft.	15 ft.
Glass area % of ground floor wall	70	90



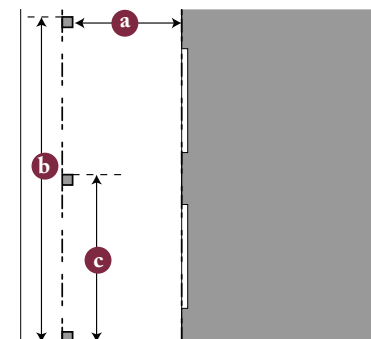
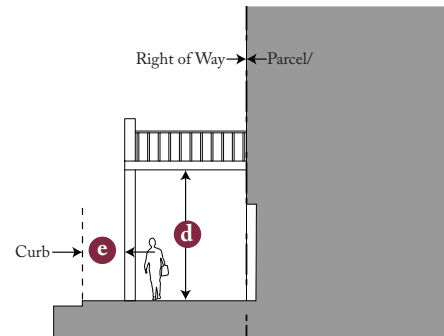
6.3F Gallery

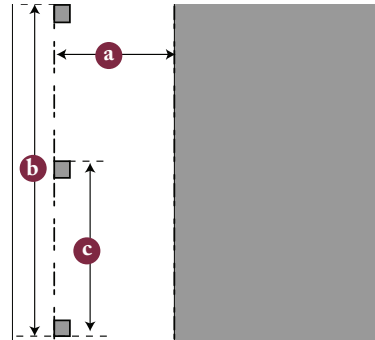
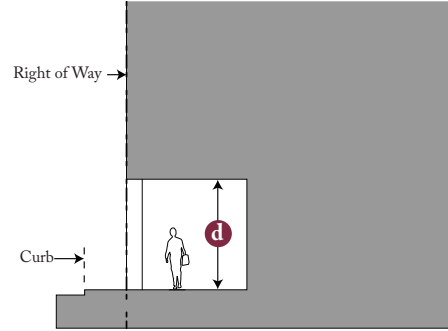
- a) **Description:** Galleries are facades with ground floor colonnades that support a cantilevered shed roof or a deck that covers the sidewalk. Galleries contain ground floor storefronts, making them ideal for retail use. Railing on top of the gallery is only required if the gallery roof is accessible as a deck.

b) Design Standards

- Along primary frontages, the Gallery columns shall correspond to Shopfront openings. Galleries shall be a minimum of two (2) bays wide.
- Galleries shall be designed according to the following dimensional requirements:

Dimensions	Min.	Max.
a Depth (clear)	10 ft.	16 ft.
b Width (clear)	20 ft.	80 ft.
c Width: single bay (clear)	10 ft.	16 ft.
d Height (clear)	12 ft.	16 ft.
e Distance from face of curb (clear)	2 ft.	-





6.3G

Arcade

- a) **Description:** Arcades are facades with a ground floor colonnade that supports the upper stories of the building, or for one-story buildings, the roof. Arcades contain ground-floor shopfronts, making them ideal for retail or restaurant use, as the arcade shelters the pedestrian while shading the storefront glass, preventing glare that might obscure views of merchandise.
- b) **Design Standards**
 - i) Along primary frontages, the Arcade shall correspond to Shop-front openings. Arcades shall be a minimum of two (2) bays wide.
 - ii) Arcades shall be designed according to the following dimensional requirements:

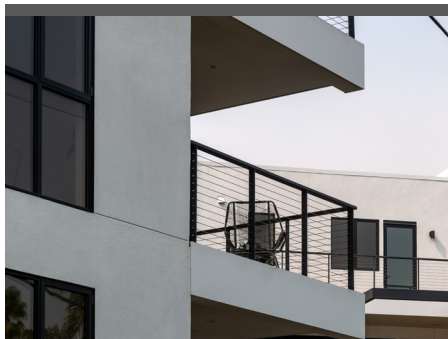
	Dimensions	Min.	Max.
a	Depth (clear)	10 ft.	16 ft.
b	Width (clear)	20 ft.	80 ft.
c	Width: single bay (clear)	10 ft.	16 ft.
d	Height (clear)	12 ft.	16 ft.
e	Distance from face of curb (clear)	2 ft.	-



6.3H

Balcony

- a) **Description:** A platform enclosed by a wall or balustrade on the outside of a building, with access from an upper-floor door.
- b) **Design Standards**
 - i) Balcony design character, palette of materials, and approach to detailing shall be consistent and compatible with the building's style.
 - ii) Balconies of traditionally styled buildings shall have visible supports in the form of projecting beams or braces. Balcony railings on traditional buildings shall be made of wood, wrought iron, steel bar or tube faithfully simulating true wrought iron. Balconies on modern styled buildings may simply project. Modern buildings may also use galvanized or painted steel, aluminium, and cable railing components. Vinyl substitutes shall be avoided.



6.3I Bay Window

- a) **Description:** A large window or series of windows projecting from the outer wall of a building and forming a recess within.
- b) **Design Standards**
 - i) Bay windows shall be a maximum of ten (10) feet wide and shall have a height that is equal to or greater than their width.
 - ii) Bay windows shall be placed a minimum of two (2) feet from any building corner and a minimum of three (3) from any other bay window.
 - iii) Bay windows shall consist of at least 75% transparent fenestration.



6.3J Awning

- a) **Description:** A cloth cover fastened to a building or structure and supported by a frame that is used to protect pedestrians from the sun or rain.
- b) **Design Standards**
 - i) Awnings shall be of a simple shed form, made of code-compliant fire-resistant canvas or materials of similar appearance; materials which are shiny, stiff, and synthetic shall be avoided.
 - ii) Each awning shall correspond to a storefront.
 - iii) Upper floor awnings may be provided. Each individual awning shall cover no more than one Shopfront or window opening. Signage is not permitted on upper floor awnings.
 - iv) Awnings shall be positioned so that signage is not obstructed.
 - v) Awning color(s) and pattern(s) shall be coordinated with the overall design of the building. As appropriate awning colors may vary between adjacent businesses.
 - vi) Internally illuminated and backlit awnings and any associated light diffusers are prohibited.





6.3K

Canopy

- a) **Description:** A flat, metal awning that extends perpendicular from the building and parallel to the sidewalk. The canopy's frame is connected to the wall and spanned by a variety of materials, including metal lattice, glass, and metal slats.
- b) **Design Standards**
 - i) Canopies shall be of a simple form, made of metal and/or glass.
 - ii) Canopies shall be supported either from below by metal brackets, or from above by rods, wires, or chains that affix to the wall.
 - iii) Canopies may extend across multiple storefronts.
 - iv) Upper floor awnings may be provided. Each individual canopy shall cover no more than one window opening. Signage is not permitted on upper floor canopies.
 - v) Canopies shall be positioned so that signage is not obstructed.
 - vi) Canopies shall be coordinated with the overall design of the building; all canopies on a single building shall be consistent in their design, color, and material.

7. Land Uses

7.1 Allowable Land Uses

A parcel or building within the Corridors Code area shall be occupied by only the land uses allowed by Table 7.1 within the zones specified within the Regulating Plan. Land uses are defined in Section 11.2B (Glossary).

- 1 Use not listed: When a use is not specifically listed in Table 7.1, the Community Development Director or his/her designee, shall have the authority to determine whether the proposed use is permitted based on the finding that the use is similar to, and no more detrimental than, those permitted in the zone. Uses not listed, or otherwise determined by the Community Development Director or his/her designee not to be similar to listed permitted uses, are prohibited.

7.2 Permit Requirements

- 1 Permitted subject to compliance with all applicable provisions of this Development Code, and a Precise Plan of Design in compliance with Zoning Code Chapter 11.80. These are shown as “P” uses in the tables;
- 2 Allowed subject to the approval of a Conditional Use Permit in compliance with Zoning Code Chapter 11.78, and shown as “CUP” uses in the tables; and
- 3 Not allowed in particular zones, and shown as a “—” in the tables.

Legend

P	Permitted
CUP	Conditional Use Permit
—	Not Permitted

		Commerce -Mixed Use	Commerce - Industrial	Neighborhood Edge	Neighborhood Residential
1	Commerce, Manufacturing, Processing				
	Artisan/craft manufacturing, commercial kitchen, printing, and publishing	P	P	—	—
	Research and Development	P	P	—	—
	Warehouse and Distribution	—	P	—	—
	Personal storage facility	—	CUP	—	—
2	Retail				
	Supermarket, home improvement center	P	P	—	—
	Neighborhood market, pharmacy	P	P	P	—
	Restaurants	P	P	P	—
	Food truck	P	P	P	—
	Retail businesses	P	P	P	—
	Alcoholic beverage sales, including brewery	CUP	CUP	CUP	—
3	Services				
	Personal Services: Personal Services, such as barber and beauty shops, dry cleaning pick-up stores, home electronics and small appliance repair, nail shops - manicure, pedicure, tailors, and tanning salons	P	P	P	—
	Personal Services (restricted): Banquet facility/catering, accessory massage (licensed and therapeutic, in conjunction with primary businesses such as day spa, beauty salon, barber shop or similar uses), and tanning salons.	CUP	CUP	CUP	—
	Professional Services: Accounting, advertising agencies, attorneys, bank, commercial art and design services, counseling services, scientific and research organizations, financial management and investment counseling, real estate and insurance office, management and public relations services, photo studio, urgent care clinic, and medical clinic (doctor, dentist).	P	P	P	—
4	Accessory Commercial Uses				
	Drive-through facility	CUP	CUP	—	—
	Incidental entertainment	P	P	—	—
	Outdoor cafe	P	P	P	—
	Outdoor display	CUP	CUP	—	—
	Outdoor storage	—	—	—	—

Table 7.1: Land Use Table

Legend

P	Permitted
CUP	Conditional Use Permit
—	Not Permitted

		Commerce - Mixed Use	Commerce - Industrial	Neighborhood Edge	Neighborhood Residential
5	Automobile Related				
	Auto sales and rental	CUP	CUP	—	—
	Recreational vehicle sales	CUP	CUP	—	—
	Auto service station	CUP	CUP	—	—
	Car wash and detailing	CUP	CUP	—	—
	Auto parts sales	CUP	CUP	—	—
6	Utility, Transportation				
	Mobility hub	P	P	P	—
	Parking facility (public or commercial)	CUP	CUP	—	—
	Utility Facilities and Infrastructure	CUP	P	CUP	—
	Wireless telecommunication facility	P	P	P	—
7	Residential Uses				
	Dwelling, single-family attached	—	—	P	P
	Dwelling, multi-family	P	—	P	P
	Live/work facility	P	P	P	P
	Mobile home park	—	—	P	P
	Single-room occupancy facility	P	—	P	P
	Group home	—	—	P	P
	Emergency shelter and transitional housing	P	P	P	P
	Lodging: Hotel, B&B, and inn	CUP	—	—	—
8	Accessory Residential Uses				
	Accessory dwelling unit	P	—	P	P
	Home occupation	P	—	P	P
	Room rental	CUP	—	CUP	CUP
9	Recreation, Education, Public Assembly				
	Civic uses, meeting facility, places of worship, and cultural institutions (performing arts centers for theater, dance and events, museums, art galleries, and libraries).	CUP	CUP	CUP	CUP
	Health/fitness facility, and studios for arts, dance, music, martial arts.	P	P	—	—
	Community garden	—	P	P	P
	School, public or private (includes business, trade schools, colleges).	P	P	P	CUP
	Theater, cinema, performing arts, outdoor community events.	CUP	CUP	—	—
	Recreation, entertainment uses	CUP	CUP	—	—
	Farmers market, certified	P	—	P	P

Table 7.1: Land Use Table

8. Signs

8.1 Sign Standards

8.1A Purpose

These sign regulations are intended to appropriately limit the placement, type, size, and number of signs allowed within the Corridors Code area, and to require the proper maintenance of signs. The purposes of these limitations and requirements are to:

- a Avoid traffic safety hazards to motorists, bicyclists, and pedestrians, caused by visual distractions and obstructions;
- b Promote the aesthetic and environmental values of the community by providing for signs that do not impair the attractiveness of Corridors Code as a place to live, work, and shop; and
- c Provide for signs as an effective channel of communication, while ensuring that signs are aesthetically designed and proportioned in relation to adjacent structures and the structures to which they are attached.

8.1B Applicability

- a Section 8 applies to all signage within the Corridors Code boundaries except for the following which are subject to the requirements of Chapter 11.72 of the Municipal Code:
 - 1. Real estate signs, special event signs, directional signs; and
 - 2. Billboard or other off-premise sign regulated by Chapter 11.72 of the Municipal Code, and any sign located in the public right-of-way and installed or maintained by the City or by any other public entity having legal authority to maintain signs.
- b Applicability to sign content. The provisions of this section do not regulate the message content of a sign (sign copy), regardless of whether the message content is commercial or noncommercial.
- c Sign permit requirements. Installation of signs shall require approval of a sign permit:
 - 1. Wall, window, awning/canopy, and sidewalk signs shall be processed ministerially by the Community Development Director; and
 - 2. All other sign types shall be subject to the discretionary process requiring site plan approval from the Planning Commission.



8.2 Sign Types

Each proposed sign or existing sign to be modified shall be designed as one of the signage types allowed for the zoning district as identified in Table 8.1

Wall				Window				Awning/Canopy				Sidewalk				Marquee				Projecting				Monument				Roof				Pole			
C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR	C-MU	C-I	NE	NR
																																			
<p>A sign that is applied directly to the wall, typically above the shopfront or more creatively as approved by the City. This type consists of a single externally illuminated panel or individual letters including a logo and does not include cabinet signs. This type of sign is intended for viewing from across the street and along the sidewalk.</p>				<p>A sign that is applied directly to the store-front window(s) and/or door(s). This type consists of individual letters, including a logo with allowances for contrasting background. This type of sign is intended for viewing from across the street and at close range.</p>				<p>A sign that is integral to the awning or canopy above a shopfront. This type of sign may be located either on the valence face of the awning that faces the street or on the valence perpendicular to the building. Also included is a feature area on the main panel. For canopies, this type of sign is located on top of and along the front edge of the canopy. This type of sign is intended for viewing at close range.</p>				<p>A two-sided, non-illuminated, portable sign that is placed outside of the shopfront on the adjacent sidewalk for viewing at close range. The sidewalk sign is intended for use by restaurants, cafes, other food-oriented businesses, theaters and other such activities.</p>				<p>A vertically-oriented two- to three-sided sign that projects from the facade over a sidewalk, public open space or other public right-of-way and may project above the building's parapet. This type of sign is intended for viewing along the sidewalk and down the street from the adjacent block.</p>				<p>A two-sided sign that projects over a sidewalk (public or private) or open space (public or private). This type of sign is intended for viewing at close range.</p>				<p>A sign that is located within front and side yards where the building is setback substantially from the sidewalk and the sign is to be viewed from a distance along the street. Wall-integral: Occurs as part of site-defining landscape, in the form of a low wall that may include a gateway that encloses outdoor dining or open space. Freestanding: Occurs as a freestanding sign subject to location and size limitations aimed at scale and compatibility with pedestrian frontages.</p>				<p>A sign that is for use on block-scale buildings at least 3 stories in height such as hotels, conference centers, and certain civic building. This type of sign is intended for viewing from a distance to help emphasize the identity and presence of a particular area as a whole and therefore, the signage is allowed to be more inventive.</p>				<p>A vertically-oriented sign that is detached from the main building, located along the primary frontage within the front setback, consisting of a structural support with the sign mounted at the top. This type of sign is for use on property that has a certain amount of street frontage and if intended for viewing from a distance to identify a business set back and not readily visible from the street.</p>			

Table 8.1 Sign Types



8.2A Wall Sign

- | | | | | | | | | | | | | | | |
|-------------------------------------|--|---|--------|---|------------------------------|--|-------------------------------------|--|----|---|----|---|----|--|
| 1 | Description | A sign that is applied directly to the wall, typically above the shopfront or more creatively as approved by the City. This type consists of a single externally illuminated panel or individual letters including a logo and does not include cabinet signs. This type of sign is intended for viewing from across the street and along the sidewalk. | | | | | | | | | | | | |
| 2 | Size | <table border="0"> <tr> <td style="padding-right: 20px;">Height</td> <td>18 in. max.</td> </tr> <tr> <td>Width (as % of facade width)</td> <td>60%</td> </tr> <tr> <td>Features (allowed beyond sign area)</td> <td>6 ft. max.</td> </tr> </table> | Height | 18 in. max. | Width (as % of facade width) | 60% | Features (allowed beyond sign area) | 6 ft. max. | | | | | | |
| Height | 18 in. max. | | | | | | | | | | | | | |
| Width (as % of facade width) | 60% | | | | | | | | | | | | | |
| Features (allowed beyond sign area) | 6 ft. max. | | | | | | | | | | | | | |
| 3 | Design Standard | <table border="0"> <tr> <td style="padding-right: 10px;">a.</td> <td>Maximum of one (1) wall sign per storefront bay along frontage of building;</td> </tr> <tr> <td>b.</td> <td>Multi-story buildings qualify for a building identification sign located on the uppermost story;</td> </tr> <tr> <td>c.</td> <td>Maximum thickness of sign as measured from the wall shall not exceed 4 inches;</td> </tr> <tr> <td>d.</td> <td>Minimum of 24 inches between sign and any opening or edge of the building facade;</td> </tr> <tr> <td>e.</td> <td>Minimum of 12 inches between sign and an eave or parapet; and</td> </tr> <tr> <td>f.</td> <td>If illuminated, individual letters required and shall be either internally illuminated or externally illuminated with decorative lamps mounted to maintain visual integrity of the sign.</td> </tr> </table> | a. | Maximum of one (1) wall sign per storefront bay along frontage of building; | b. | Multi-story buildings qualify for a building identification sign located on the uppermost story; | c. | Maximum thickness of sign as measured from the wall shall not exceed 4 inches; | d. | Minimum of 24 inches between sign and any opening or edge of the building facade; | e. | Minimum of 12 inches between sign and an eave or parapet; and | f. | If illuminated, individual letters required and shall be either internally illuminated or externally illuminated with decorative lamps mounted to maintain visual integrity of the sign. |
| a. | Maximum of one (1) wall sign per storefront bay along frontage of building; | | | | | | | | | | | | | |
| b. | Multi-story buildings qualify for a building identification sign located on the uppermost story; | | | | | | | | | | | | | |
| c. | Maximum thickness of sign as measured from the wall shall not exceed 4 inches; | | | | | | | | | | | | | |
| d. | Minimum of 24 inches between sign and any opening or edge of the building facade; | | | | | | | | | | | | | |
| e. | Minimum of 12 inches between sign and an eave or parapet; and | | | | | | | | | | | | | |
| f. | If illuminated, individual letters required and shall be either internally illuminated or externally illuminated with decorative lamps mounted to maintain visual integrity of the sign. | | | | | | | | | | | | | |



8.2B Window Sign

- | | | | | | | | | | | |
|-------------------------------------|--|--|--------|--|----------------------------------|---|-------------------------------------|---|----|--|
| 1 | Description | A sign that is applied directly to the storefront window(s) and/or door(s). This type consists of individual letters, including a logo with allowances for contrasting background. This type of sign is intended for viewing from across the street and at close range. | | | | | | | | |
| 2 | Size | <table border="0"> <tr> <td style="padding-right: 20px;">Height</td> <td>15 in. max.</td> </tr> <tr> <td>Width (as % of storefront width)</td> <td>40%</td> </tr> <tr> <td>Features (allowed beyond sign area)</td> <td>2 ft. max.</td> </tr> </table> | Height | 15 in. max. | Width (as % of storefront width) | 40% | Features (allowed beyond sign area) | 2 ft. max. | | |
| Height | 15 in. max. | | | | | | | | | |
| Width (as % of storefront width) | 40% | | | | | | | | | |
| Features (allowed beyond sign area) | 2 ft. max. | | | | | | | | | |
| 3 | Design Standard | <table border="0"> <tr> <td style="padding-right: 10px;">a.</td> <td>Maximum of one (1) window sign per storefront;</td> </tr> <tr> <td>b.</td> <td>Minimum of 75% of window sign shall be independent of contrasting background;</td> </tr> <tr> <td>c.</td> <td>Sign inside the shop-space is not allowed within four (4) feet of the window; and</td> </tr> <tr> <td>d.</td> <td>Storefront width is measured between walls or columns of at least 8 inches in width.</td> </tr> </table> | a. | Maximum of one (1) window sign per storefront; | b. | Minimum of 75% of window sign shall be independent of contrasting background; | c. | Sign inside the shop-space is not allowed within four (4) feet of the window; and | d. | Storefront width is measured between walls or columns of at least 8 inches in width. |
| a. | Maximum of one (1) window sign per storefront; | | | | | | | | | |
| b. | Minimum of 75% of window sign shall be independent of contrasting background; | | | | | | | | | |
| c. | Sign inside the shop-space is not allowed within four (4) feet of the window; and | | | | | | | | | |
| d. | Storefront width is measured between walls or columns of at least 8 inches in width. | | | | | | | | | |



8.2C Awning/Canopy Sign

- | | | | | | | | | | | | | | | |
|---------------------------------------|---|--|-----------------------|--|-----------------------|--|-------------------------------------|---|---------------------------------------|---|-----------------------------------|---|--------------|-------------------------------|
| 1 | Description | A sign that is integral to the awning or canopy above a shopfront. This sign may be located either on the valence face of the awning facing the street or on the valence perpendicular to the building. Also included is a feature area on the main panel. For canopies, this type of sign is located on top of and along the front edge of the canopy. This type of sign is intended for viewing at close range. | | | | | | | | | | | | |
| 2 | Size | <table border="0"> <tr> <td style="padding-right: 20px;">Height awning valance</td> <td>6 in. min.; 12 in max.</td> </tr> <tr> <td>Height canopy valance</td> <td>2 ft. max.</td> </tr> <tr> <td>Width (as % of awning/canopy width)</td> <td>75%</td> </tr> <tr> <td>Features (logo) for awning main panel</td> <td>2 sq.ft.</td> </tr> <tr> <td>Feature (beyond canopy sign area)</td> <td>3 sq.ft.</td> </tr> <tr> <td>Encroachment</td> <td>within 2 ft. of curb</td> </tr> </table> | Height awning valance | 6 in. min.; 12 in max. | Height canopy valance | 2 ft. max. | Width (as % of awning/canopy width) | 75% | Features (logo) for awning main panel | 2 sq.ft. | Feature (beyond canopy sign area) | 3 sq.ft. | Encroachment | within 2 ft. of curb |
| Height awning valance | 6 in. min.; 12 in max. | | | | | | | | | | | | | |
| Height canopy valance | 2 ft. max. | | | | | | | | | | | | | |
| Width (as % of awning/canopy width) | 75% | | | | | | | | | | | | | |
| Features (logo) for awning main panel | 2 sq.ft. | | | | | | | | | | | | | |
| Feature (beyond canopy sign area) | 3 sq.ft. | | | | | | | | | | | | | |
| Encroachment | within 2 ft. of curb | | | | | | | | | | | | | |
| 3 | Design Standard | <table border="0"> <tr> <td style="padding-right: 10px;">a.</td> <td>Maximum of one (1) sign per awning / canopy;</td> </tr> <tr> <td>b.</td> <td>Each awning / canopy shall correspond to a storefront;</td> </tr> <tr> <td>c.</td> <td>The main panel of awnings shall only be used for a logo feature and shall not be for additional signage area;</td> </tr> <tr> <td>d.</td> <td>Internal illumination of awning(s) is prohibited;</td> </tr> <tr> <td>e.</td> <td>Canopy sign may extend up to 24 inches above the top of the canopy; and</td> </tr> <tr> <td>f.</td> <td>Encroachment permit required.</td> </tr> </table> | a. | Maximum of one (1) sign per awning / canopy; | b. | Each awning / canopy shall correspond to a storefront; | c. | The main panel of awnings shall only be used for a logo feature and shall not be for additional signage area; | d. | Internal illumination of awning(s) is prohibited; | e. | Canopy sign may extend up to 24 inches above the top of the canopy; and | f. | Encroachment permit required. |
| a. | Maximum of one (1) sign per awning / canopy; | | | | | | | | | | | | | |
| b. | Each awning / canopy shall correspond to a storefront; | | | | | | | | | | | | | |
| c. | The main panel of awnings shall only be used for a logo feature and shall not be for additional signage area; | | | | | | | | | | | | | |
| d. | Internal illumination of awning(s) is prohibited; | | | | | | | | | | | | | |
| e. | Canopy sign may extend up to 24 inches above the top of the canopy; and | | | | | | | | | | | | | |
| f. | Encroachment permit required. | | | | | | | | | | | | | |



8.2D Sidewalk Sign

- 1 Description A two-sided, non-illuminated, portable sign that is placed outside of the shopfront on the adjacent sidewalk for viewing at close range. The sidewalk sign is intended for use by restaurants, cafes, other food-oriented businesses, theaters and other such activities.
- 2 Size

Height	18 in. min.; 3 ft. max.
Width	18 in. min.; 2 ft. max.
Thickness on each side	4 in. max.
Horizontal clearance from adjacent curb	18 in. max.
- 3 Design Standard
 - a. Maximum of one (1) sign per business with a minimum distance of 25 feet from the nearest sidewalk sign;
 - b. Sign shall be vertically oriented and have no more than two (2) sides;
 - c. Sign shall be placed as close as possible to the business storefront/edge of outdoor seating or along the street edge of the adjacent sidewalk;
 - d. Encroachment permit required within the r.o.w. Adequate pedestrian access shall be maintained; and
 - e. Materials shall not include vinyl or plastic. Lighting shall be from ambient sources.



8.2E Marquee Sign

- 1 Description A vertically-oriented two- to three-sided sign that projects from the facade over a sidewalk, public open space or other public right-of-way and may project above the building's parapet. This type of sign is intended for viewing along the sidewalk and down the street from the adjacent block.
- 2 Size

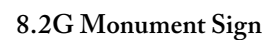
Height single-story building	max. 35% of facade height
Height multi-story building	max. 75% of facade height
Height above eave or parapet	10 ft. max
Width of each sign face (up to 3 max.)	20 ft. max
Distance from wall	18 in.
Thickness	4 in. max.
Feature (allowed beyond sign area)	6 sq. ft.
Encroachment	within 3 ft. of curb
- 3 Design Standard
 - a. Maximum of one (1) marquee sign per building;
 - b. Sign shall be vertically-oriented and placed within the top half of single-story buildings and on the upper floor(s) of multi-story buildings; and
 - c. Encroachment permit required.



8.2F Projecting Sign

- 1 Description A two-sided sign that projects over a sidewalk (public or private) or open space (public or private). This type of sign is intended for viewing at close range.
- 2 Size

Height	2 ft. max.
Width	3 ft. max.
Thickness	3 in. max.
Feature (allowed-beyond sign area)	1.5 sq.ft.
Vertical clearance from sidewalk	8 ft. min.
Encroachment	within 3 ft. of curb
- 3 Design Standard
 - a. Maximum of one (1) projecting sign per business along frontage;
 - b. If illuminated, shall not be internally illuminated cabinet sign;
 - c. Supporting hardware such as brackets shall be architecturally compatible with the building facade;
 - d. Not allowed under an awning or horizontally within ten (10) feet of another projecting sign; and
 - e. Encroachment permit required.



- ## 8.2H Roof Sign

- ### 8.2I Pole Sign

- 53

9. Other Development Standards

9.1 Parking Design

9.1A Applicability

- 1 **Parking required.** Every use, including change or expansion of a use, or structure, shall have appropriately maintained parking and loading spaces or areas in compliance with the regulations identified in this Section.
- 2 **Number of parking spaces**
 - a **Off-Street Parking Spaces.** Off-street parking spaces shall be provided for each land use per the below standards:
 - i) Residential: One (1) space per unit (minimum).
 - ii) Residential Guest: One (1) space for every four (4) units (minimum)
 - iii) Lodging: One (1) space per room (minimum).
 - iv) Live/Work: One (1) space per unit under 1500 s.f.; if unit is greater than 1500 sq. ft.: One (1) space for every 400 gross s.f.
 - v) Office, Retail, Civic: One (1) space per 300 gross s.f. of building area.
 - vi) Restaurants, Cafes, or similar: One (1) space per 200 gross s.f. of building area.
 - vii) Industry, Manufacturing or similar: One (1) space per 1,000 gross s.f. of building area.
 - c **On-Street Parking**
 - i On-street parking located along the development's frontage may be counted towards fulfilling the minimum number of spaces for the commercial component within the development up to 25 percent of the minimum required number of off-street parking spaces.
 - ii In no case shall on-street parking be used for meeting minimum residential parking requirements within a mixed-use development.
 - iii Where street parking spaces are counted toward meeting required on-site parking as allowed by this section, all such on street spaces must remain available for common use and not be exclusively assigned or reserved to any individual use.

9.1B Parking Reduction Requirements

1 Shared Parking

Shared parking may be utilized as an effort to promote an overall reduction in parking. The amount of off-street parking required for a mixed use development may be reduced up to 15 percent as determined by the Community Development Director and approved by the City Council when it can be demonstrated through a Parking Demand Study that sufficient parking is or can be met by the subject uses through a shared parking arrangement. Said study should explain the parking demands of the land uses within the development and how business practices or hours of operation impact the demand for parking at different times of the day.

2 Waiver of Parking

Any project site where it can be demonstrated that the land use thereon will not utilize the required number of parking spaces due to the nature of the specific land use, or the manner in which the specific land use is conducted, the number of parking spaces required may be reduced pursuant to the following:

- a **Approval Required.** A parking reduction based upon low parking demand may be allowed upon the approval of a Low Demand Parking Reduction Agreement by the City.
- b **Alternate Parking Plan.** In approving a parking reduction, the City may require the preparation of an Alternate Off-Street Parking Plan, which demonstrates that additional parking spaces can be provided on-site, as necessary, to accommodate future land use changes or intensifications in land use. Furthermore, a restrictive covenant that runs with the land may be required by the City, which restricts the use of the subject property for the duration of the parking reduction.

- c Parking Management Plan. A Low Demand Parking Reduction Agreement by and between the City, the applicant, and all other affected property owners, shall be executed and recorded with the County Recorder, which, at a minimum, shall:
 - i) provide confirmation that the parking supply proposed will be adequate during periods of maximum demand;
 - ii) confirm that the parking demand is provided within a reasonable walking distance to the use it serves; and
 - iii) identify parking management strategies that are necessary to ensure the availability of the necessary number of parking spaces for the duration of the current use and future users of the project site. The Low Demand Parking Reduction Agreement shall be subject to City Attorney review and approval as to form and content.
- d Parking Analysis. The City may require the applicant to submit a parking analysis, prepared by a person/firm experienced in preparing such analyses, to assist the City in determining the appropriate reduction.

9.1C Parking Design and Development Standards

Required parking areas shall be designed and constructed as follows. The standards of this Section may be modified by the review authority where it determines that alternative parking designs and standards will more appropriately relate to the operating characteristics of the proposed development or new land use, while being equally effective in providing parking areas that are safe, convenient, use land efficiently, and are aesthetically attractive.

1 Access to Parking

- a Within the Corridors Code area, no new parking shall be placed between a building and a street, except where allowed adjacent to a side street in the Neighborhood Edge and Neighborhood Residential zones.
- b Parking, including parking garages, shall be accessed from an alley or secondary frontage when possible. The opening of a parking lot or garage on a frontage shall not exceed two lanes in width.

- 2 Tandem Parking. Tandem parking may be allowed at the discretion of the City:
 - a Non-Residential Uses.
 - i) The use of tandem parking for non-residential uses shall require that the operator of the parking facility provide a valet or attendant at all times that the parking is accessible to users, except where the City determines that the nature of the use and its operation will not require attended parking.
 - ii) Tandem parking shall be a maximum of two (2) parking spaces in depth.
 - iii) Vehicle movements necessary to move cars parked in a tandem configuration shall not take place on any public street.
 - b Residential Development. Tandem parking is allowed within multi-family projects and the residential component of mixed-use projects subject to the following standards:
 - i) Up to 30 percent of the total required off-street parking spaces may be provided in a tandem configuration. The maximum number of spaces permitted in a tandem configuration refers to the total individual spaces, not the total number of tandem spaces. For example, if twenty (20) total residential spaces are required, three (3) tandem space with two (2) cars in the tandem space for a total of six (6) individual spaces may be provided.
 - ii) Tandem parking shall be a maximum of two (2) parking spaces in depth.
 - iii) Both tandem spaces shall be assigned to the same dwelling unit.
 - iv) Vehicle movements necessary to move cars parked in a tandem configuration shall not take place on any public street.
 - v) Guest parking spaces shall not be provided in a tandem configuration.
 - vi) When tandem parking spaces are used in private garages or other parking facilities with more than two (2) parking spaces, they shall be assigned and marked for resident use.
- 3 Disabled Parking Spaces. Parking spaces for the disabled shall be provided in compliance with the requirements of State Law (California Administrative Code [Title 24, Part 2, Chapters 2B71]. Disabled spaces required by this Section shall count toward fulfilling off-street parking requirements.

4 Loading Spaces

- a A minimum of one (1) off-street loading space shall be provided for every non-residential or mixed use building over 3,000 s.f. in gross area.
- b Loading spaces shall be generally located at the rear of a building or along the alley when present in a fashion that allows for adequate maneuvering, loading, or unloading of vehicles without interfering with the orderly movement of traffic or pedestrians on the street.
- c Off-street loading spaces may be striped “loading zone” by the City of Montclair as approved by the Community Development Director.

5 Parking space and lot dimensions. Parking lots and stalls shall be designed with the following minimum dimensions.

Angle of Parking	Length of Parking Stall	Width of Parking Stall	Aisle Width
60° or less (one-way)	18 ft	8.5 ft	18 ft
90° (one-way)			
90° (two-way)	18 ft	8.5 ft	24 ft
90° (tandem)	36 ft	9 ft	24 ft

6 Landscaping. Parking areas shall be landscaped in compliance with the following requirements.

- a Surface parking areas shall be planted with shade trees at a minimum ratio of one tree for every four spaces in an orchard planting arrangement.
- b Parking areas adjacent to a street or sidewalk shall be screened with landscaping and a decorative wall between 36 and 48 inches in height as approved by the review authority.

7 Lighting. Parking lot lighting shall comply with the following requirements:

- a Outdoor light fixtures shall be limited to a maximum height of 15 feet or the height of the nearest building, whichever is less.
- b Lighting shall be energy-efficient, and shielded or recessed. Each light fixture shall be directed downward and away from adjoining properties and public rights-of-way.

8 Surfacing. The City desires to reduce stormwater run-off and water pollution, and to allow for the replenishment of groundwater. For parking areas, the goal is to reduce the amount of run-off generating surface area. Therefore, permeable surfaces for parking and maneuvering areas are encouraged. Acceptable permeable surfaces include:

- a Pervious pavers (products such as Unipaver, Eco-stone and SF Rima or an approved equivalent).
- b Gravel, bark or grass when reinforced to provide adequate load-bearing (including geotechnical structures such as Invisible Structures’ Grasspave and Gravelpave products, or an approved equivalent).
- c Other permeable surfaces may be approved by the Public Works Director.

9 Passenger Loading and Unloading Zones. On-street, curb-side passenger loading and unloading zones, including for transit network companies (such as Uber and Lyft) are permitted as approved by the Community Development Director.

9.2 Solid Waste Standards

9.2A Purpose

A successful solid waste collection and removal strategy will include appropriate accommodations for the collection, storage, access, and removal of solid waste and recyclable materials from the project site. Early planning to meet this requirement is essential to avoid major redesign of the project during later design phases and to ensure compliance with the standards and requirements of this Section.

9.2B Location, Access and Design Criteria

The location of all solid waste collection and/or storage spaces shall meet the following requirements:

- i To the extent possible, collection/storage locations shall be accessed from an alley. Where an alley is not present, collection/storage locations may be accessed from the street. Collection/storage locations for corner lots shall be accessed from the Side Street.
- ii The collection/storage space shall be located to minimize visual, noise, and odor impacts to adjacent building occupants both on the subject lot and on adjacent lots.
- iii Outdoor trash enclosures or collection rooms within a structure shall not be located on a street-facing facade of the structure. Outdoor trash enclosures shall not be located between the building face and the street.
- iv The design of outdoor trash enclosures and exterior facing elements of a collection/storage area attached to, or within a building/structure, shall complement the architectural features of the building or development that they serve. The incorporation of landscaping around trash enclosures is encouraged as part of a successful design. All outdoor trash enclosures shall include a solid roof to minimize or prevent spilled or trash contaminants from entering the stormwater system.
- v The property owner or manager shall maintain both the interior spaces and surrounding exterior areas and keep them clean and free of graffiti, trash, residue, debris, and leaks.
- vi The Solid Waste Collection and Removal Plan shall be subject to approval by the City's Solid Waste Hauler.

9.3 Drive-Through Standards

9.3A Development Standards for All Drive-Thru Uses

The following development guidelines shall apply to drive-through uses constructed in the Corridors Code Area:

- i To define and support the street edge, buildings with drive-through facilities should be located at the Front Street and/or Side Street setback lines.
- ii The main building entrance should be accessed directly from the public sidewalk. On corner lots, the main entrance should be accessed from the Front Street.
- iii Uses/activities that support the street along the public sidewalk (such as restaurant seating or offices) should face the street(s).
- iv Building walls along the street frontage and visible from the street should be transparent with windows and doors, maximizing views in and out of the building, emphasizing the relationship between interior and exterior, and supporting and animating the public street and sidewalk.
- v Driveways and stacking lanes.
 - a Driveways and stacking lanes should be located perpendicular to the street.
 - b Stacking lanes should not be located between the building and the street.
 - c Multiple windows servicing a single stacking lane (e.g. order window, payment window, pickup window) are encouraged to promote reduced idling.
 - d Multiple stacking lanes are discouraged.
 - e Stacking lanes that are visible from the street should be screened with low walls, hedges, and canopy trees.
- vi Sufficient signage should be provided to indicate direction of vehicular travel, no entrance areas, etc.

9.4 Landscape, Lighting, and Utility Standards

- 9.4A Landscape Materials:** Context appropriate landscaping shall be provided for each project and designed to achieve an attractive “urban” landscape setting. Landscaping is also instrumental in creating and delineating public and private spaces. Appropriate landscaping will depend on factors such as the setbacks, shape, size, and orientation of the building.
- a Proposed developments shall incorporate site amenities such as linear planting beds or seat walls, street furniture, enhanced paving surfaces, public art, lighting, etc., where appropriate. These features should be architecturally compatible with the styles, materials and colors of the principal building on the lot and those in the immediate area.
 - b Plant species should be selected based on their suitability for an urban environment, for their cleanliness, and for their ability to survive in a healthy state despite constrained growing conditions. Ease of maintenance should also be considered.
 - c The majority of plant materials shall consist of drought tolerant and/or native plants with minimum water requirements.
 - d The use of canopy trees for shading and cooling is encouraged where appropriate, particularly in publicly accessible open spaces and plazas, to mitigate the urban heat island effect. Where canopy trees are used, site design should provide sufficiently sized tree pits or planting beds and appropriate planting medium to provide for healthy tree growth.
 - e Decorative water features shall use re-circulating water and, where available, shall use recycled water.
- 9.4B Underground Utilities:** All electric and communications lines serving new development shall be placed underground.

- 9.4C Sustainable Storm Water Management:** The intent of this Corridors Code is to create an urban mixed-use and walkable community. When fully implemented, the development of the Corridors Code planning area will result in an urban setting characterized by commercial, residential, and mixed use buildings, and structured or underground parking on sites with minimal to no landscape areas available at grade. In some cases, buildings could approach 100 percent coverage of the site. As part of the development review process, developers and their landscape architects will need to focus on tailoring each project to provide stormwater treatment facilities that are functional and visually attractive and that avoid the use of surface infiltration basins, which are not conducive to an urban setting. In preparing mandated Water Quality Management Plans (WQMPs) the following design guidelines shall be considered and implemented to the greatest extent possible:
- a Consider the full range of Best Management Practices (BMP) alternatives for addressing drainage, infiltration, and stormwater quality for the site, including drainage from roofs, plazas, courtyards, and any surface parking areas.
 - b Utilize Low Impact Development (LID) design principles and practices to address infiltration of runoff through the use of:
 - i Pervious surfaces in lieu of impermeable surfaces in plazas, courtyards, and surface parking areas where technically feasible. Acceptable pervious surfaces include: landscaping; pervious pavers including pervious interlocking pavers and permeable concrete; etc.; as approved by the Community Development Director and Public Works Director.
 - ii Landscaped areas integrated into the drainage design where runoff can be directed into planters with subsurface features to further enhance storage or towards permeable surfaces where technically feasible. Amended soils shall be utilized where technically feasible to enhance infiltration, to provide water quality improvement, and to maintain healthy plant life.
 - c Surface infiltration basins are not allowed, unless:
 - i They are accommodated within an active or passive park or open space that can be closed during flood events.
 - ii They are not visible from a street or public open space and they are in addition to the required on-site open space.

4.8C.4 Site Lighting

- a Site lighting should be shielded by permanent attachments to light fixtures so that light sources are not visible from a public way and to prevent off-site glare.

10. Administration

4.9A Review Authority

The standards and other requirements of this Corridors Code shall be administered and enforced by the Planning Division of the Montclair Community Development Department, the Planning Commission, and City Council in the same manner as the provisions of the City's Zoning Code.

- a Chapter 11.04 of the Municipal Code specifies standards for Development Plan Review application. The following types of applications shall be reviewed and acted upon by the identified body or individual:
 - i. Ministerial Applications: The Community Development Director shall be the Review Authority for ministerial applications as listed in Table 10.1.
 - ii. Discretionary Applications: Discretionary application shall be reviewed as listed in Table 10.1.

4.9.B Minor Deviations

- a A Minor Deviation permits a practice that is not consistent with a specific provision of this Corridors Code, but is justified by its ability to fulfill this Corridors Code's intent while not compromising its vision and intent.
- b All development standards within this Corridors Code may deviate up to a maximum of ten percent (10%).
- c Minor Deviations are subject to Community Development Director review prior to Planning Commission consideration.

4.9.C Compatibility and Architectural Review

For the purposes of maintaining consistency with the General Plan; establishing a high standard of architectural quality and design variety; and maintaining compatibility with adjoining properties, all major development applications within the Corridors Code area will be subject to an external peer review. Major development means development of four or more units or development of over 5,000 square feet of non residential space. Such a review will be conducted by an architect, urban designer, or planner in private practice, as chosen by the review authority (City). The review authority shall establish fees and procedures for such review.

	Community Development-Director	Planning Commission	City Council
Ministerial			
Zoning clearance	Approve		
Outdoor dining in R.O.W.	Approve		
Outdoor display	Approve		
Discretionary			
Site plan		Final Decision	Review Appeal
Conditional use permit (CUP)		Final Decision	Review Appeal
Zoning change		Recommend	Final Decision
Subdivision		Final Decision	
Variance		Final Decision	Review Appeal
Specific Plan Amendment		Recommend	Final Decision

Table 10.1 Review Authority

11. Glossary

11.1 Purpose

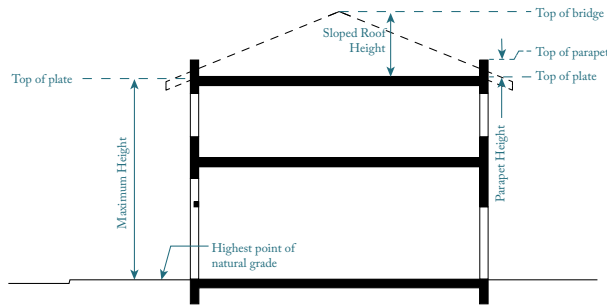
This Section provides definitions of terms and phrases used in this Corridors Code that are technical or specialized, or that may not reflect common usage. If any of the definitions in this Section conflict with definitions in the Zoning Code or other provisions of the Municipal Code, these definitions shall control for the purposes of this Corridors Code. If a word is not defined in this Section, or in other provisions of the Montclair Municipal Code, the Community Development Director shall determine the correct definition.

11.2 Definitions of Specialized Terms and Phrases

As used in this Corridors Code, each of the following terms and phrases shall have the meaning ascribed to them in this Section, unless the context in which they are used clearly requires otherwise.

11.2A Definitions of General Terms

Access, Building	The physical point(s) and type of pedestrian access to a building from the public sidewalk. Also see building access.
Access, Site	The physical point(s) of vehicular access from a street or other right-of-way to a site.
Access, Lot	The physical point(s) of access to an individual lot for vehicles and pedestrians from a street, other right-of-way or sidewalk.
Accessory Structure	A subordinate building such as garages, carports, storage sheds, shelters, pools or similar structures, the use of which is incidental to that of the main building (residential, commercial, or industrial) on the same lot and/or building site.
Alley	A low capacity thoroughfare with one shared lane and no parking lanes, designed and intended for service and/or secondary access purposes.
Block	All property fronting on one side of a street between intersecting and intercepting streets, or between a street and a right-of-way, wash, end of an existing cul-de-sac, or city boundary.
Block-scale Building	The physical appearance when a building by its physical length and overall size is massed and organized to be larger than a house in its footprint.
Building Access	<p>Buildings are accessed in either of two ways: walk-up or point access.</p> <p>Walk-up access means when an individual suite or dwelling is accessed by the pedestrian directly from a public sidewalk or private open space directly accessed by the public sidewalk. House-scale buildings are accessed only by walk-up access.</p> <p>Point access means when individual suites or dwellings are accessed by the pedestrian through a common lobby. Block-scale buildings are accessed by either walk-up or point-access or, through a combination of the two.</p>
Building Accessory	Building(s) which are in support of the main building on the lot and subject to the building placement standards for accessory buildings.



Building Height

The vertical extent of a building measured in stories to the eave of the highest story, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, and similar structures. Building height shall be measured from the average grade of the fronting thoroughfare.

Building Type

A structure defined by the combination of configuration, placement and function.

- **Mixed-Use Block.** A building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for service, office, and/or residential uses as allowed by each zone's use requirements. The upper floor may be accessed directly from the street via a stair or through a street-level lobby.
- **Court.** A group of attached dwelling units arranged to share one or more common courtyards, with pedestrian visitor access taken from the courtyard, Front Street, and/or Side Street. The courtyard is intended to be a semi-public outdoor area that is visible from and accessed from the Primary Street. Courtyard buildings may accommodate housing as well as ground floor commercial uses in either a live-work configuration or as commercial/retail space that directly faces the Primary Street, if and as allowed by the zone.
- **Liner.** A building that conceals a larger building such as a public garage, theater, or "big box" store that is designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors also configured for those uses or for residences.
- **Rowhouse.** Two or more detached two- or three-story dwellings arrayed side by side with zero lot line side setbacks. The building is located at the front of the lot, with the garage at the rear of the lot, separated from the primary building by a rear yard. An integrated housing unit and working space, occupied and utilized by a single household in a structure, either single-family or multi-family, that has been designed or structurally modified to accommodate joint residential occupancy and work activity.
- **Stacked Dwelling.** A building comprised typically of single-floor dwellings usually accessed from a central lobby that provides access to individual units via corridors. Ground floor dwellings facing the street may additionally take direct access via stoops or semi-private dooryards.
- **Flex Shed.** A building designed for occupancy by light manufacturing, workshop, and warehouse uses.
- **Live-work.** An integrated housing unit and work space, occupied and utilized by a single household in a structure, either single family or multi-family, that has been designed to accommodate ground floor work uses and ground floor and/or upper floor residential uses.
- **Quad/Triplex/Duplex.** Duplexes, triplexes, and quadplexes are multiple dwelling forms that are architecturally presented as large single family houses. Each dwelling unit is accessed directly from the street.
- **Single-family residence.** A structure occupied by one primary residence that also accommodates commercial uses as allowed.
- **Carriage House.** A Carriage House is an attached or detached residence, also known as an accessory dwelling, which provides complete independent living facilities and which is located or established on the same lot on which a single-family residence is located. Such dwellings may contain permanent provisions for living, sleeping, eating, cooking, and sanitation.

Civic	The term defining not-for-profit organizations dedicated to the arts, culture, education, government, transit and municipal parking facilities.	Paseo	A public place or path designed for walking that is often within a block, between buildings or along the edge of a public open space.
Civic Building	A structure operated by governmental or not-for-profit organizations and limited to civic uses.	Pedestrian Shed	An area centered on a major destination. Its size is limited by an average distance that may be traversed at an easy walking pace in a given amount of time from its center to its edge. Pedestrian sheds are useful for planning walkable areas.
Civic Space	An outdoor area dedicated for civic activities.	Podium	A continuous projecting base or pedestal under a building.
Courtyard	An unroofed area that is completely or partially enclosed by walls or buildings.	Setback	The area of a lot measured from a lot line to a building facade or elevation that must be maintained clear of permanent structures excepting galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first floor level) which are permitted to encroach into the setback.
Driveway	A vehicular lane within a lot, or shared between two lots, usually leading to a garage, other parking or loading area.	Setback line, front yard (frontage zone).	The line which defines the depth of the required front yard for the lot in order to generate and support the intended public realm of the zoning district.
Encroachment	Any architectural feature or structural element, such as a fence, garden wall, porch, stoop, balcony, bay window, terrace or deck, that breaks the plane of a vertical or horizontal regulatory limit extending into a setback, beyond the build-to-line, into the public frontage, or above a height limit.	Setback line, rear yard or side yard.	The line which defines the width or depth of the required rear or side yard. Said setback line shall be parallel with the property line, removed therefrom by the perpendicular distance prescribed for the yard in the zoning district.
Frontage	A strip or extent of land abutting a thoroughfare, civic space or other public right-of-way. a. Frontage, Private. The area between the building facade and the shared lot line between the public right-of-way and the lot. b. Frontage, Public. The area between the curb of the vehicular lanes and the edge of the right-of-way.	Story	A habitable level within a building from finished floor to finished ceiling.
House-scale	The physical appearance when a building is massed and organized similar to a single-family house.	Transitional Buildings	A building or portion thereof which was lawful when established but which does not conform to subsequently established zoning or zoning regulations.
Infill	A site developed within existing urban fabric, balancing, completing and/or repairing the surrounding area.	Transitional Use	A land use lawful when established but which does not conform to subsequently established zoning regulations.
Lot	A parcel of real property shown on a plat recorded in the office of the county recorder.	Yard	The area between the Buildable Area on a lot and a lot line. a. Yard, Front. The area between the Buildable Area on a lot and the front lot line. b. Yard, Side. The area bounded by the Building Area on a lot, a side lot line, the front lot line and the rear lot line. c. Yard, Rear. The area between the Buildable Area on a lot and the rear lot line.
Massing	The overall shape or arrangement of the bulk or volume of buildings and structures.		
Overlay	The method for addressing additional topics such as certain types of commercial frontage.		
Parapet	A low wall along the edge of a roof or the portion of a wall that extends above the roof line.		
Parkway (planting strip)	The landscaped area between the sidewalk and the curb which is reserved for trees which are intended to shade the sidewalk and provide spatial definition to the streetscape.		

11.2B Definitions of Land Use Terms

Artisan/Craft Manufacturing	The manufacturing of products by hand typically involving a skilled trade.
Auto Service Station	Retail sale, from the premises, of vehicle fuel which may include the incidental sale of other petroleum products, tires, batteries, and replacement items, and the incidental minor repairs and lubricating services.
Bank/Financial Services	Financial institutions, including, but not limited to: banks and trust companies, credit agencies, holding (but not primarily operating) companies, lending and thrift institutions, other investment companies, securities/commodity contract brokers and dealers, security and commodity exchanges, and vehicle finance (equity) leasing agencies. Does not include check-cashing stores.
Civic Building	A building that is operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.
Commercial Kitchen	An establishment that provides cooking services to customers such as restaurants and stores that sell food.
Cultural Institution	A nonprofit institution engaged primarily in the performing arts or in the display or preservation of objects of interest in the arts or sciences that are open to the public on a regular basis. This classification includes performing arts centers for theater, dance and events, museums, art galleries, and libraries.
Day Care Center	Any child day care facility, licensed by the State of California, other than a family day care home, and includes infant care centers, preschools, and extended day care facilities.
Drive-through Services	Facilities where food or other products may be purchased or services may be obtained by motorists without leaving their vehicles. Examples of drive-through sales facilities include fast-food restaurants, drive-through coffee, photo stores, pharmacies, bank teller windows and ATMs, dry cleaners, etc., but do not include gas station or other vehicle services.

Dwelling

A room or group of internally connected rooms that have sleeping, cooking, eating, and sanitation facilities, but not more than one kitchen, which constitute an independent housekeeping unit, occupied by or intended for one household on a long-term basis.

Dwelling Accessory

An auxiliary dwelling unit located within an accessory structure of a primary dwelling on the lot. Includes, but is not limited to dwelling units in guest houses, pool houses and carriage houses, above or beside a garage.

Group Homes

A dwelling in which persons reside in a group occupancy setting, but not including a hotel, motel, fraternity, sorority, rooming and/or boarding house. Residents of a facility may also receive medical treatment in addition to any non-medical supportive services in a residential or congregate care setting, as opposed to a hospital.

Health/Fitness Facility

Establishments offering participant sports within an enclosed building. Typical uses include bowling alley, billiards parlors, pool halls, indoor ice or roller skating rinks, indoor racquetball courts, indoor batting cages, and health or fitness clubs.

Home Occupation

Residential premises used for the transaction of business or the supply of professional services. Home occupation shall be limited to the following: agent, architect, artist, broker, consultant, draftsman, dressmaker, engineer, interior decorator, lawyer, notary public, teacher, and other similar occupations, as determined by the Director. No external employees are allowed.

Home Office

Residential premises used for the transaction of business or the supply of professional services which employ up to three external employees. Home office shall be limited to the following: agent, architect, artist, broker, consultant, draftsman, dressmaker, engineer, interior decorator, lawyer, notary public, teacher, and other similar occupations, as determined by the Director.

Hotel, Motel

Establishments containing six or more rooms or suites for temporary rental and which may include incidental food, drink, and other sales and services intended for the convenience of guests.

Manufacturing	The manufacturing of perishable (such as food and dairy products) and non-perishable items (such as clothing and furniture).	Offices —Professional	Office-type facilities occupied by businesses that provide professional services, or are engaged in the production of intellectual property. Examples of these uses include: accounting, advertising agencies, attorneys, commercial art and design services, counseling services, urgent care clinic, and medical clinic, scientific and research organizations, financial management and investment counseling, literary and talent agencies, management and public relations services, media postproduction services, news services, and photography studios.
Medical Services, Clinic	A facility other than a hospital where medical, mental health, surgical and other personal health services are provided on an outpatient basis. Examples of these uses include: medical offices with five or more licensed practitioners and/or medical specialties, outpatient care facilities, urgent care facilities, other allied health services. These facilities may also include incidental medical laboratories. Counseling services by other than medical doctors or psychiatrists are included under “Offices - Professional.”	Parking Facility, Public or Private	Parking lots or structures operated by the City or a private entity, providing parking either for free or for a fee. Does not include towing impound and storage facilities.
Medical Services, Doctor’s Office	A facility other than a hospital where medical, dental, mental health, surgical, and/or other personal health care services are provided on an outpatient basis, and that accommodates no more than four licensed primary practitioners (for example, chiropractors, medical doctors, psychiatrists, etc., other than nursing staff) within an individual office suite. A facility with five or more licensed practitioners is instead classified under “Medical Services – Clinic, Urgent Care.” Counseling services by other than medical doctors or psychiatrists are included under “Office – Professional.”	Personal Services	Establishments providing non-medical services for the enhancement of personal appearances, cleaning, alteration, or reconditioning of garments and accessories, and similar non-business related or non-professional services. Typical uses include reducing salons, barber shops, tailors, shoe repair shops, self-service laundries, and dry cleaning shops, but exclude uses classified under the Office and Trade School.
Meeting Facility	Consisting of group gatherings conducted indoors. Typical uses include churches, synagogues, mosques, temples, bingo halls, private clubs, fraternal, philanthropic and charitable organizations, and lodges. Does not include theaters.	Personal Services (Restricted)	Personal services that may tend to have adverse effects upon surrounding areas and which may need to be dispersed to minimize their adverse impacts. Examples of these uses include: bailbonds, check cashing stores, massage (licensed, therapeutic, non-sexual), pawn-shops, spas and hot tubs for hourly rental, tattoo and body piercing services, and tanning salons.
Neighborhood market/convenience store	A neighborhood serving retail store of 5,000 square feet or less in gross floor area, which carries a range of merchandise oriented to daily convenience shopping needs.	Personal Storage Facility	A facility that provides individual storage facilities for rental and which provides the renter with independent and secure access to their storage room.

Printing and Publishing Production, Artisan	<p>A facility that provides printing or publishing services.</p> <p>Establishments primarily engaged in on-site production of goods by hand manufacturing, involving the use of hand tools and small-scale equipment.</p>	School	<p>Elementary, Middle, Secondary. A public or private academic educational institution, including elementary (kindergarten through 6th grade), middle and junior high schools (7th and 8th grades), secondary and high schools (9th through 12th grades), and facilities that provide any combination of those levels. May include any of these schools that also provide room and board.</p>
Restaurants	<p>A commercial establishment where food is prepared for and served to the customer, for consumption on or off the premises. It shall be operated as a bona fide eating place that maintains approved and permitted suitable kitchen facilities within the establishment, thereby making actual and substantial sales of meals. A restaurant may provide entertainment for the customer by performers of the arts (music, dance, comedy, readings, etc.), and differs from a Night Club in that it does not provide floor space for customer dancing and dancing is prohibited. A restaurant differs from a Tavern because it must prepare and serve food at all times during business hours and the sale of alcoholic beverages is secondary to the sale of food. As allowed by the Corridors Code, a restaurant may operate on the sidewalk or open space adjacent to the main building in which the restaurant is located.</p>	School — Business, Trade Schools, Colleges	<p>A school that provides education and/or training, including tutoring, or vocational training, in limited subjects. Examples of these schools include art school, ballet and other dance school, business, secretarial, and vocational school, computers and electronics school, drama school, driver education school, establishments providing courses by mail, language school, martial arts, music school, professional school (law, medicine, etc.), seminaries/religious ministry training facility.</p>
Retail	<p>Stores and shops engaged in the sale of goods and merchandise such as antiques or collectibles, art galleries, art supplies, including framing services, bicycles, books, magazines, and newspapers, cameras and photographic supplies, clothing, shoes, and accessories, department stores, drug stores and pharmacies, dry goods, fabrics and sewing supplies, florists and houseplant stores, hobby materials, jewelry, luggage and leather goods, musical instruments, parts and accessories, orthopedic supplies, small wares, specialty shops, sporting goods and equipment, stationery, thirft shop (second hand store), toys and games, variety stores, including rental stores.</p>	Studio — Art, Dance, Martial Arts, Music (School)	<p>Small scale facilities, typically accommodating no more than two groups of students at a time, in no more than two instructional spaces. Examples of these facilities are individual and group instruction and training in the arts; production rehearsal; photography, and the processing of photographs produced only by users of the studio facilities; martial arts training studios; gymnastics instruction, and aerobics and gymnastics studios with no other fitness facilities or equipment. Larger facilities are included under the definition of “Schools. Business, Trade Schools, Colleges.”</p>
		Supermarket	<p>A grocery market having 15,000 or more square feet of floor area devoted principally to the sale of food.</p>
		Taverns	<p>An establishment whose primary business is the sale of alcoholic beverages to customers for consumption on the premises. This does not include on-site manufacturing of alcoholic beverages. While a Tavern may have facilities for performers of the arts (music, comedy, etc.) for the entertainment of the customer, it differs from a Night Club in that customer dancing is prohibited. A Tavern differs from a Restaurant in that it is not required to prepare and serve food.</p>